

# NORTH FOURTH EAST EIGHTH

1.108 ACRE TRACT

BEING PART OF LOT 35 OF HENRY CHITTENDEN'S WOODBURN ADDITION TO THE CITY OF COLUMBUS IN PLAT BOOK 1, PAGE 384  
ALSO BEING PART OF LOTS 37 & 38, NORTH OF EIGHTH AVENUE OF THE JOHN HYER'S AMENDED SUBDIVISION OF LOT 6 OF THE STEVENSON HEIRS SUBDIVISION IN PLAT BOOK 1, PAGES 382 & 383  
AS ALL IS CONVEYED TO CAMPUS PARTNERS FOR COMMUNITY URBAN REDEVELOPMENT IN INSTRUMENT NUMBERS 201011150153546 & 201009280126612.

QUARTER TOWNSHIP 4, TOWNSHIP 1, RANGE 18, U.S. MILITARY DISTRICT  
CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO

**Floodplain Note:** All of the North Fourth East Eighth is within Zone X (Areas determined to be outside of the 0.2% annual chance floodplain) as delineated on FEMA Flood Insurance Rate Map, and incorporated Areas map number 39049C0326K with no effective date due to being a "Non-printed Panel from FEMA.

**Wetlands Note:** No determination has been made by the Development Department, Building Services Division, City of Columbus, as to whether the area proposed to be platted contains area(s) that could be classified as Wetlands by the Army Corps of Engineers. It is the developer's responsibility to determine whether Wetlands exist on the site. The City of Columbus approval of the preliminary plat of the North Fourth East Eighth does not imply any approval for the development of the site as it may pertain to Wetlands.

**Existing Building:** All existing buildings will be removed prior to development.

**Site Stats:** 1.108 Acres, 10 Lots, single family units, zoning designation: R4, (see site analysis table and acreage breakdown table for more detail)

**Division of Electricity Note:** Street Lighting will be provided in accordance with the Division of Power and Water (Power) regulations.

**Sanitary Sewer:** Proposed laterals to tap into existing combination sewer run (RP245) between Manhole C0126 (In E. Ninth Ave.) and Manhole S0128 (In E. Eighth Ave.) through the proposed 22' Alley as shown.

**Fire Vehicle Access Plan:** Parking restrictions shall be installed per current City policy on signage for private streets and alleys/lanes. They shall include that parking be limited to one side of the street where street widths are less than 26 ft., no parking shall be permitted on either side of any street within 61 ft. of the midpoint of street intersections, and that there will be no parking on alleys/lanes. Fire hydrants shall be located on the side of the street where no parking is permitted.

The owner, developer, and/or the Homeowners Association must establish and maintain an agreement(s) with a private towing company(s), which authorizes the private towing company(s) to remove/tow any vehicles parked in restricted areas. There may be one or more such agreements with one or more towing company(s) for any times/lengths, terms, etc. as the owner, developer, and/or Homeowners Association determines, so long as at least one such agreement shall always, at all times be in force for the purposes of enforcements/removal/towing as required above. Towing agreements shall be filed annually with the Columbus Division of Fire, Fire Prevention Bureau, Plans Review Office, upon execution of contract.

The owners, developer, and/or Homeowners Association shall designate the City of Columbus as an authorized agent for the sole and specific purpose of enforcement of parking restrictions and the issuance of citations and/or removal of vehicles parked in violation of posted parking restrictions on private streets and alley/lanes.

Intersection details concerning turning radii, parking restrictions and intersection configurations shall conform with the Fire Vehicle Access Plan.

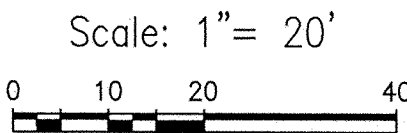
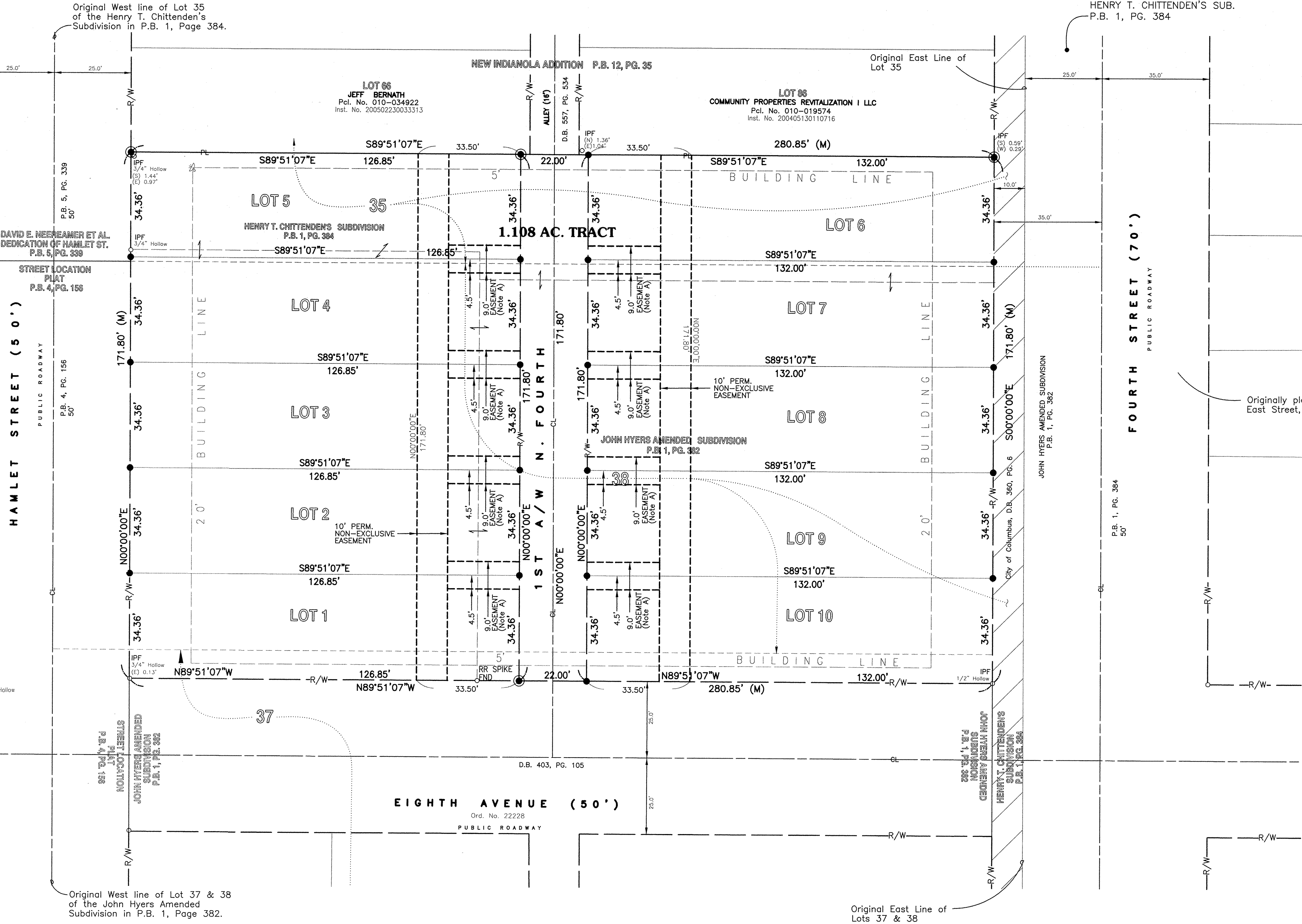
**Stormwater management:** It is the intent of the development to manage storm water on each individual lot. Stormwater design details may be found on storm sewer plan CC-16088.

**Stormwater Control Facility Maintenance:** Stormwater control facility maintenance inspection and reporting requirements may be found on storm sewer plan CC-16088.

**Stormwater Pollution Prevention:** Site specific SWPPP information may be found on storm sewer plan CC-16088.

#### Easement Note "A":

Water quality facilities have been designed as required by the City of Columbus stormwater drainage manual (2006). These facilities shall remain in locked and maintained unless otherwise permitted by the City of Columbus. Maintenance of these facilities is the sole responsibility of the adjacent property owners. An easement has been created along the perimeter of each facility for future maintenance. This is a non-exclusive easement. The City of Columbus, by ordinance, can terminate this easement if necessary.



Acreage Breakdown	
Lot 1	0.100 Acres
Lot 2	0.100 Acres
Lot 3	0.100 Acres
Lot 4	0.100 Acres
Lot 5	0.100 Acres
Lot 6	0.104 Acres
Lot 7	0.104 Acres
Lot 8	0.104 Acres
Lot 9	0.104 Acres
Lot 10	0.104 Acres
Alley	0.088 Acres

#### Legend

- PL Property Line
- CL Centerline
- R/W Right-of-Way
- Iron Pin Found (IPF)
- Iron Pin Set (IP Set) or MAG Nail Set
- Permanent Marker
- ⊠ Porch / Overhang
- ▨ Denotes Right Of Way Drop

PLANS PREPARED BY:

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