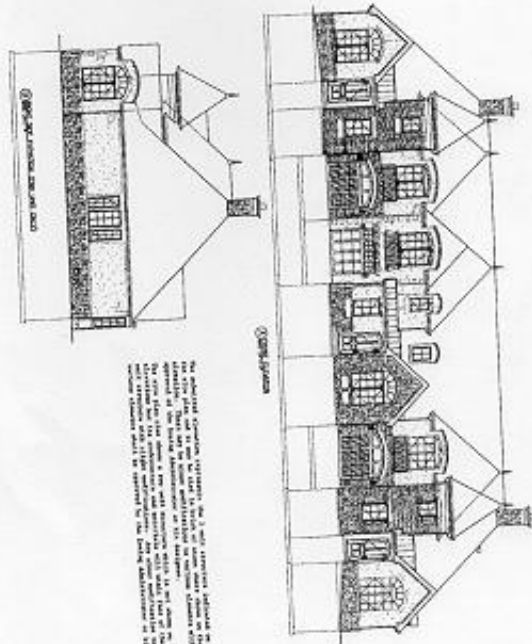


110-90Z



The architect certifies that the drawings are true and correct to the best of his knowledge and belief, and that he is a duly licensed architect in the State of Illinois. The architect also certifies that the drawings are not a copy of any other drawings, and that they are not a reproduction of any other drawings. The architect further certifies that the drawings are not a copy of any other drawings, and that they are not a reproduction of any other drawings.

FINAL RECEIVED: *R. J. H.*
6/22/06

EXHIBIT B

Richard J. H. H.
0/25/06
Z06-011

**DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
APRIL 13, 2006**

- 4. APPLICATION: Z06-011**
- Location:** **5565 BROADVIEW ROAD (43230)**, being 3.97± acres located on the south side of Broadview Road, directly south of Panorama Drive. (010-256899).
- Existing Zoning:** R, Rural District.
- Request:** L-I, Limited Institutional District.
- Proposed Use:** Elderly Housing development.
- Applicant(s):** Ruben-Lorek, LLC; c/o Jackson B, Reynolds III, Atty.; Smith & Hale; 37 West Broad Street, Suite 725; Columbus, OH 43215.
- Property Owner(s):** Dorsey and Susan Stocksdales; 5565 Broadview Road; Columbus, OH 43230.
- Planner:** Dana Hitt, AICP, 645-2395, dahitt@columbus.gov

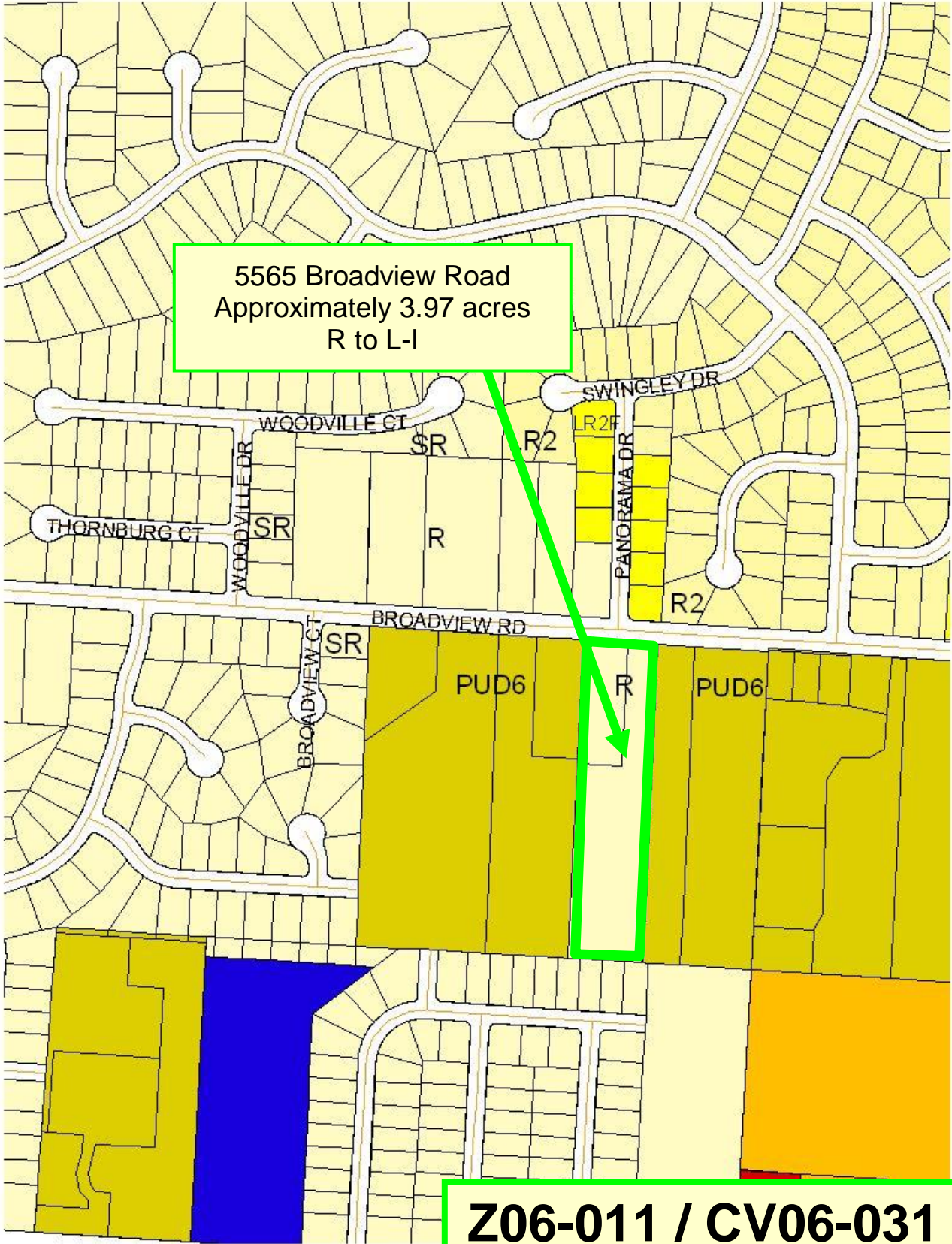
BACKGROUND:

- The applicant requests the L-I, Limited Institutional District to develop housing for the elderly with a density of 8.75 dwelling units per acre. "Housing for the elderly" means a use of property to provide housing for elderly persons applicable for such assistance under existing state and federal programs. Housing for the elderly is to be distinguished from other uses in that dwellings devoted to this use shall contain **some** or all of the following: 1. Ramps or elevators for wheelchair use; 2. Doors of sufficient width to accommodate wheelchairs in all rooms; Grab bars around tubs and toilets; and 4. Special features associated with group living such as dispensaries, medical facilities, common dining facilities, group recreation facilities and similar related facilities.
- To the north across Broadview Road are single-family dwellings zoned in the R, Residential and L-R-2F, Limited Residential Districts. To the south are single-family dwellings zoned in the SR, Suburban Residential and single-family dwellings under development in the PUD-6, Planned Unit Development Districts. To the east, are single and multi-family dwellings zoned in the PUD-6, Planned Unit Development District. To the west are single-family dwellings zoned in the PUD-6, Planned Unit Development District.
- The site is within the Blendon District of the *Northland Plan Volume II* (2002), which recommends "Infill development that is compatible with surrounding land uses be encouraged."
- The applicant is not committing to the site plan, and cannot because it presumes variances that have not yet been granted to the Board of Zoning Adjustment. The applicant commits to providing street trees, interior trees and shrubs and lighting commitments.
- Z02-044, the PUD-6 approved in December of 2002 lies to the east of this proposal. This PUD was developed with a committed site plan for a mix of then existing single-family dwellings and new four-unit dwellings at a density of 5.5 dwelling units per acre. This PUD features a 25 foot setback on the perimeter, a committed site plan, a limitation on building materials, and the planting of internal trees, and lighting commitments.

- Z02-054, the PUD-6 to the west of this proposal, was approved in July 2003 and developed with detached single-dwelling units at a density of 4.23 dwelling units per acre with a committed site plan including a 25 foot perimeter setback. Furthermore, that zoning committed to a minimum separation between buildings, internal landscaping, garage requirements, the planting of evergreens within the 25 foot setback, lighting requirements, and requirements for garages.

CITY DEPARTMENTS' RECOMMENDATION: Disapproval.

Staff has requested that the applicants address the density and development standards of the proposal. The applicant's only response was to reduce the density from 17 dwelling units per acre in the original submittal down to a density of 8.75 units per acre, which is still substantially higher than the adjacent two Planned Unit Developments which have densities of 4.23 dwelling units per acre and 5.5 dwelling units per acre. The requested L-I, Limited Institutional District is more dense than the surrounding developments and falls short of the development standards that have been established in the Planned Unit Developments immediately to the east and west of the site. Staff finds this to be overdevelopment and finds no exceptional design features to warrant this more intense development.





5565 Broadview Road
Approximately 3.97 acres
R to L-I

Z06-011 / CV06-031

**NORTHLAND
COMMUNITY
COUNCIL
DEVELOPMENT COMMITTEE**

Fax

To: Jackson B Reynolds, III

From: Jeff Murray

Fax:

Pages: 1

Phone: 614-221-4255

Date: 2/23/06

Re: Z06-011
5565 Broadview Rd.

CC:

Mr. Reynolds,

Our committee voted to support your application with the following conditions:

1. Density not to exceed 6 units per acre.
2. Minimum 20' side yard setbacks.
3. All units to have a basement, garage, and a minimum of 1,600 square feet.

If there are any questions, you can contact me at 614-882-8558.

Sincerely,

Jeff Murray
Chairman, Development Committee
Northland Community Council

COLUMBUS DEVELOPMENT COMMISSION
Basis for Recommendation

Date: April 13, 2006

Application #: Z06-011	Requested: L-1	Address: 5565 BROADVIEW ROAD (43230)					
# Hearings:	Length of Testimony: 6:47 → 7:15 (28)	Staff	Approval	Disapproval			
		Position:	Conditional Approval				
# Speakers Support: 0	Development Commission Vote: 3 Yes No 1 Abstain	Area Comm/ Civic Assoc:	Approval	Disapproval			
			Conditional Approval				
Position Y=Yes N=No (write out ABSENT or ABSTAIN)	ABSTAIN Fitzpatrick	YES Ingwersen	YES Barnes	NO Anderson	YES Cooley	ABSENT Onwukwe	VACANT
+ = Positive or Proper - = Negative or Improper							
Land Use		+	+	+	+		
Use Controls		+			+		
Density or Number of Units		0	0	0	-		
Lot Size							
Scale							
Environmental Considerations			0	0	-		
Emissions							
Landscaping or Site Plans							
Buffering or Setbacks		0					
Traffic Related Commitments		+	+		+		
Other Infrastructure Commitments		+			+		
Compliance with City Plans			+		+		
Timeliness of Text Submission				0	+		
Area or Civic Assoc. Recommendation							
Governmental or Public Input							
MEMBER COMMENTS:							
FITZPATRICK:							
INGWERSEN: INFILL SITE BETWEEN 2 PUDS ALLOWS THE DENSITY PROPOSED TO BE MANAGEABLE ALONG W/ DEED RESTRICTIONS OF 55+ YRS FOR OCCUPANTS. DEVELOPER COMMITTED TO RESOLVE TRAFFIC & PARKS & GAIN							
BARNES: REQUIRES SETBACK REQ'S APPROPRIATE USE FOR NEIGHBORHOOD. DENSITY IS NOT THE ISSUE, BUT RATHER AN EFFECT OF A LAND USE CHOICE. NEIGHBORHOODS SHOULD INCORPORATE DIVERSITY IN USES & DENSITIES.							
ANDERSON: Unresolved issues leading to staff disapproval							
ONWUKWE:							
COOLEY: UNRESOLVED ISSUES, BUT APPROPRIATE USE OF LAND THAT MITIGATES DENSITY ISSUES.							
VACANT:							



PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.
THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

STATE OF OHIO
 COUNTY OF FRANKLIN

APPLICATION # Z06-011/CU06-03

Being first duly cautioned and sworn (NAME) Jackson B. Reynolds III
 of (COMPLETE ADDRESS) 37 W. Broad St., Ste. 725 Columbus, OH 43215
 deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

- Name of business or individual
- Business or individual's address
- Address of corporate headquarters
- City, State, Zip
- Number of Columbus based employees
- Contact name and number

If applicable, check here if listing additional parties on a separate page (REQUIRED)

1. Ruben-Lorek, LLC 7 Pickett Place New Albany, OH 43054 (Harlan Ruben & Dan Lorek)	2. Dorsey & Susan Stocksdale 5565 Broadview Road Columbus, OH 43230
3.	4.

SIGNATURE OF AFFIANT

Jackson B. Reynolds III

Subscribed to me in my presence and before me this 28th day of June, in the year 2006

SIGNATURE OF NOTARY PUBLIC

Natalie C. Patrick

My Commission Expires:

9/4/2010

This Project Disclosure Statement expires six months after date of notarization.



NATALIE C. PATRICK
 Notary Public, State of Ohio
 My Commission Expires 09-04-10