

SITE DATA:

SITE AREA: 0.86 ACRES (37,364 SF)

EXISTING ZONING: R2F, RESIDENTIAL

PROPOSED ZONING: CPD, COMMERCIAL PLANNED DEVELOPMENT

FEMA MAP PANEL & ZONE: 39049C0328K, ZONE X

BUILDING DATA:

1ST FLOOR COMMERCIAL SPACE: 2,650 SF

PATIO SPACE: 599 SF

STUDIO UNITS: 26

1 BEDROOM UNITS: 41

2 BEDROOM UNITS: 5

EXISTING HEIGHT DISTRICT: H-35

PROPOSED HEIGHT DISTRICT: H-40

PROPOSED DENSITY: 84 UNITS/AC (4519 SF/DU)

EXISTING BUILDING HEIGHT: N/A

PROPOSED BUILDING HEIGHT: THREE STORIES

PROPOSED LOT COVERAGE: 100%

138 SPACES **

PARKING REQUIRED:

BICYCLE PARKING REQUIRED: 8 SPACES (2 * 118 SPACES / 20)

PARKING PROVIDED:

REGULAR SPACES: 57 SPACES (V)

DOUBLE STACK SPACES: 8 SPACES (16 PARKING SPACES TOTAL)

ADA SPACES: 4 SPACES

TOTAL PROVIDED SPACES: 77 SPACES

BICYCLE PARKING PROVIDED: 20 SPACES (LOCATED INTERNALLY WITHIN GARAGE)

REFUSE:

REQUIRED (72 DU @ 0.50 CV): 36.0 CY DUMPSTER CAPACITY (TO BE LOCATED INSIDE GARAGE)

HATCH LEGEND

BUILDING FOOTPRINT

PROPOSED DRIVE APPROACH

REQUIRED PARKING CALCULATION:

72 DWELLING UNITS @ 1.5 SPACES / DWELLING UNIT = 108 SPACES

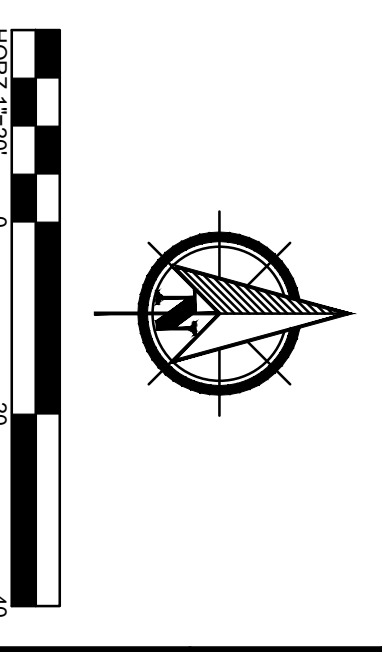
2,650 SF RESTAURANT SPACE @ 1 SPACE / 78 SF (W/ 25% REDUCTION PER UCO) = 27 SPACES

475 SF PATIO SPACE @ 1 SPACE / 150 SF (W/ 25% REDUCTION PER UCO) = 3 SPACES

Final Received 11/18/21; Z21-029

L. J. Baker 11-18-21

Z21-029 / CV21-038



DATE:	11/10/2021
DRAWN BY:	GPB
CHECKED BY:	OSD
JOB NUMBER:	2018.01453

REVISIONS	DATE	SHEET NO.	DESCRIPTION

ZONING PLAN FOR
E. LONG ST. & N. GARFIELD AVE.
COLUMBUS, FRANKLIN COUNTY, OHIO





perspective // west corner

Final Received 11/18/2021; Z21-029 Sheet 1 of 5

Elevations

W. York 11-18-21

800 e long street mixed use
PRELIMINARY DESIGN STUDIES | OCTOBER 19, 2021

METROPOLITAN
HOLDINGS

archall



perspective // east corner

Final Received 11/18/2021; Z21-029 Sheet 2 of 5

Elevations

L. S. York 11-18-21

800 e long street mixed use
PRELIMINARY DESIGN STUDIES | OCTOBER 19, 2021

METROPOLITAN
H O L D I N G S

archall



north elevation // proposed
scale: 1/16" = 1'-0"



west elevation // proposed
scale: 1/16" = 1'-0"



east elevation // proposed
scale: 1/16" = 1'-0"

south elevation // proposed
scale: 1/16" = 1'-0"

concrete brick - ground floor and tower

8 contemporary wood fence screen with stain finish





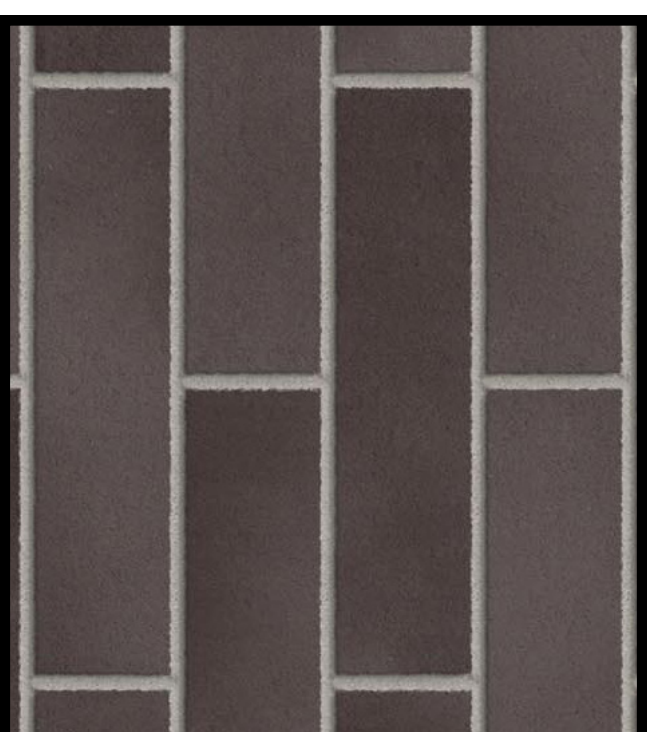
BRICK 01 // red brick
 manufacturer // pine hall brick
 product // old colony f/r modular
 grout color // argos bark
 install // 4"h x 8"w



BRICK 02 // light brick
 manufacturer // belden brick company
 product // saxony blend
 grout color // argos santan
 install // 4"h x 8"w



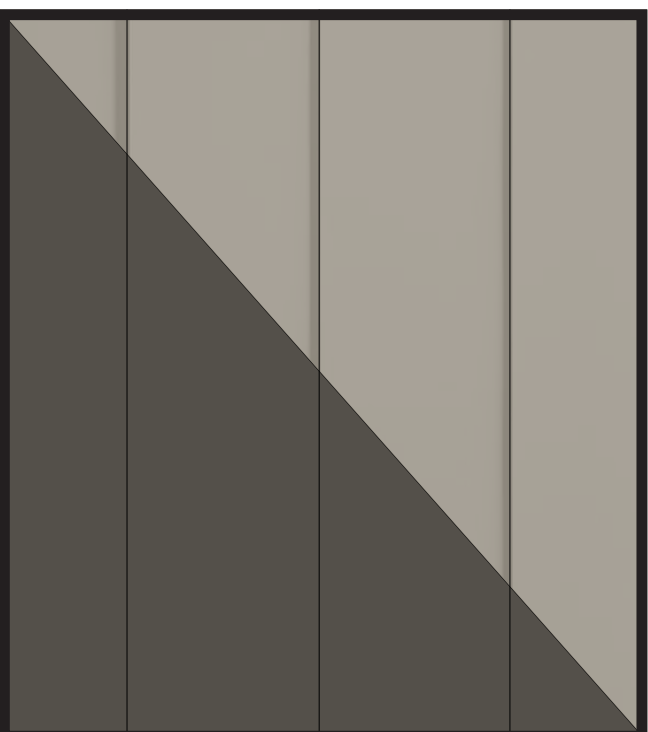
BRICK 03 // dark brick
 manufacturer // belden brick
 product // garnet blend
 grout color // argos bark
 install // 4"h x 8"w



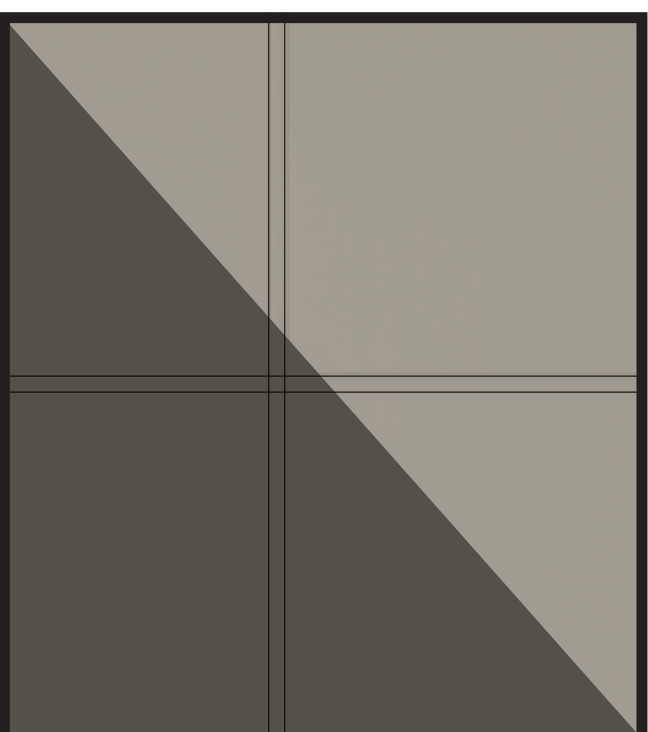
BRICK 04 // spec brik
 manufacturer // reading rock
 product // spec brik
 color // chesapeake blend
 install // 4"h x 16"w



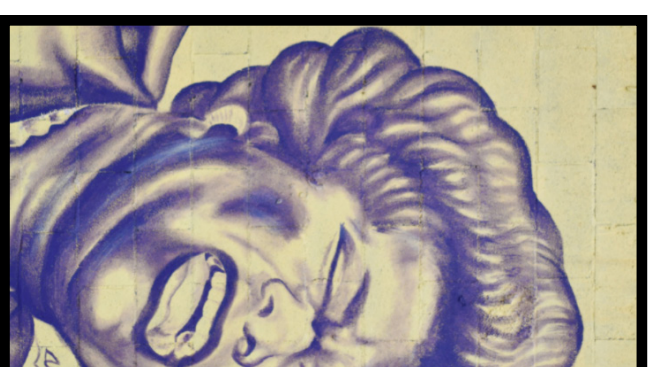
STONE 01 // rockcast
 manufacturer // reading rock
 product // rockcast
 color // "starbuck"
 install // 8"h x 16"w



FIBERCEMENT 01/02 // lap siding
 manufacturer // james hardie
 product // hardie plank smooth
 color // SW 9171 felted wool
 install // SW 7048 urbane bronze
 // horizontal lap



FIBERCEMENT 03/04 // panel board
 manufacturer // james hardie
 product // panel board smooth
 color // SW 9171 felted wool
 install // SW 7048 urbane bronze
 // panel board



MURAL 01 // painted
 // painted by artists tbd



GLAZING 01/02 //
 windows/storefront
 // kraft viny//kawneer
 // 2500 series/storefront
 // bronze
 // trim bronze to match

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
NOVEMBER 17, 2021**

- 3. APPLICATION: Z21-029**
- Location:** 805 E. LONG ST. (43203), being 0.86± acres located at the south east corner of East Long Street and North Garfield Avenue (010-049607 & 8 others; Near East Area Commission).
- Existing Zoning:** R-2F, Residential District.
- Request:** CPD, Commercial Planned Development District (H-60).
- Proposed Use:** Mixed-use development.
- Applicant(s):** Metropolitan Holdings; c/o Joseph McCabe, Agent.; 1433 Grandview Avenue; Columbus, OH 43212; and David Hodge, Atty.; Underhill & Hodge LLC; 8000 Walton Parkway, Suite 260; New Albany, OH 43054.
- Property Owner(s):** City of Columbus, c/o John Turner, et. al.; 845 Parsons Avenue; Columbus, OH 43206.
- Planner:** Hayley Feightner; 614-645-3526; hfeightner@columbus.gov

BACKGROUND:

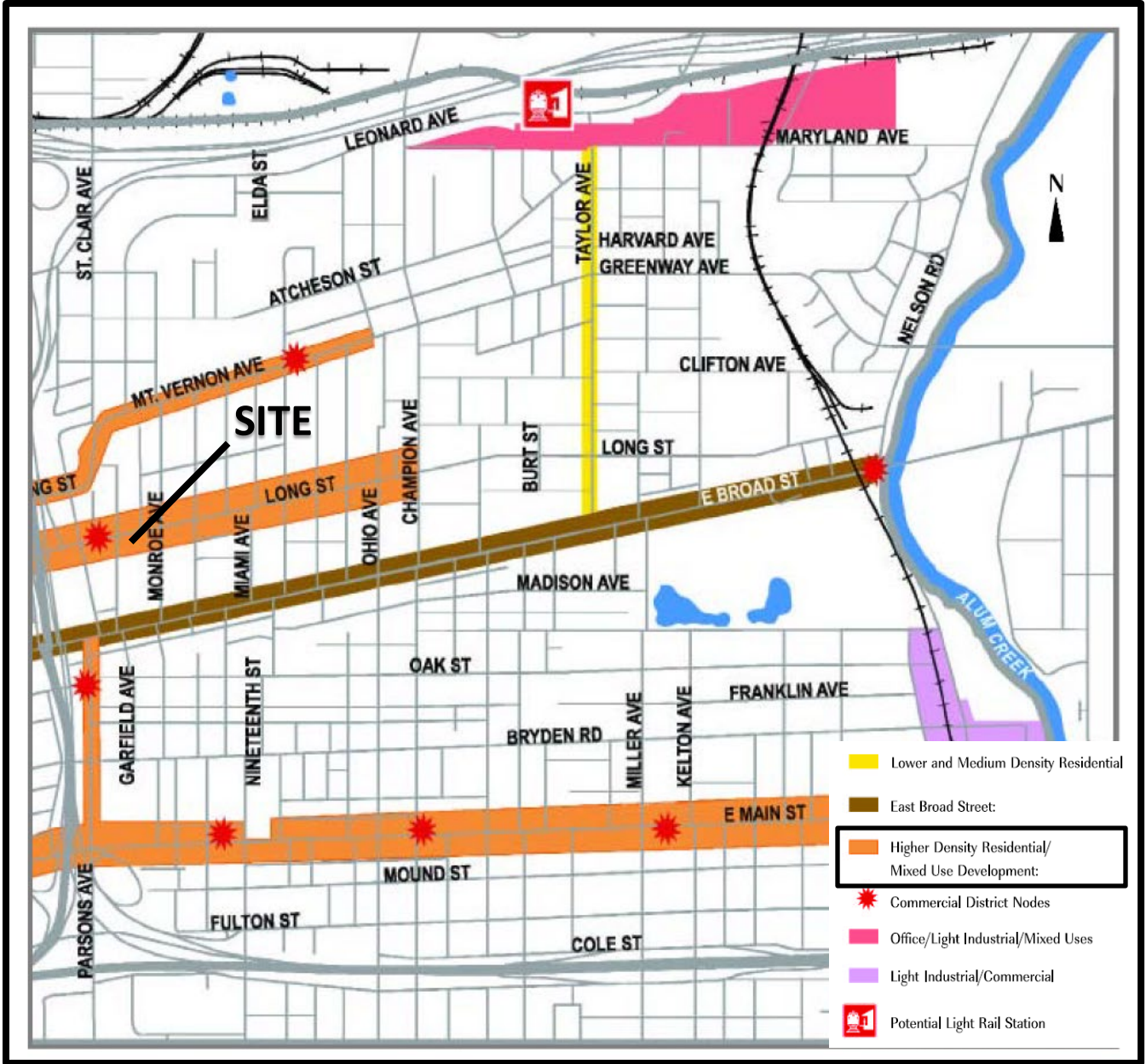
- The site consists of nine undeveloped parcels in the R-2F, Residential District. The requested CPD, Commercial Planned Development District will permit a mixed-use development consisting of 72 dwelling units, 2,650 square feet of commercial space, and 599 square feet of commercial patio space. The site is within the boundaries of the East Long Street Urban Commercial Overlay (UCO).
- North of the site across East Long Street is a future mixed-use development in the CPD, Commercial Planned Development District. South of the site is an apartment building in the R-2F, Residential District. East of the site across Talmadge Street is a mixed-use commercial building and single-unit dwellings in the R-2F, Residential District. West of the site across North Garfield Avenue is the Lincoln Theater in the CPD, Commercial Planned Development District.
- The site is located within the boundaries of the *Near East Area Plan* (2005), which recommends higher density residential and mixed-use development at this location.
- The site is located within the boundaries of the Near East Area Commission, whose recommendation is pending the November 18th full Commission meeting.
- Concurrent CV21-038 has been filed to permit ground-floor dwelling units and associated residential uses. That request will be heard by City Council and will not be considered at this Development Commission meeting.
- The development text permits C-4 uses and includes supplemental development standards addressing density, site access, and graphics provisions, and includes a commitment to develop the site in accordance with the submitted site plan and

elevations. Modifications to code standards are included for vision clearance, a parking space reduction from 138 required spaces to 77 provided spaces, to allow bicycle parking to be located inside the proposed building, and to permit stacked parking spaces. A parking study was required and has been approved by the Division of Parking Services.

- The *Columbus Multimodal Thoroughfare Plan* identifies this portion of Long Street as an Urban Commuter Corridor requiring 100 feet of right-of-way.

CITY DEPARTMENTS' RECOMMENDATION: Approval.

The requested CPD, Commercial Planned Development District will allow a mixed-use development that is consistent with the land use and design recommendations of the *Near East Area Plan* (2005). The parking reduction is supportable due to the area's availability of on-street parking, and the site's location along a walkable, bikable, transit corridor. The Planning Division continues to encourage the inclusion of additional street trees along the North Garfield Avenue frontage in coordination with the City Forester, but does not condition support on this request.



Z21-029
805 East Long St.
Approximately 0.86 acres
R-2F to CPD



Z21-029
805 East Long St.
Approximately 0.86 acres
R-2F to CPD

FOR USE BY: AREA COMMISSION / COMMUNITY GROUP / HISTORIC ARCHITECTURAL REVIEW
(PLEASE PRINT)

Case Number:

Z21-029 / CV21-038

Address:

805 E. LONG ST

Group Name:

NEAR EAST AREA COMMISSION

Meeting Date:

Specify Case Type:

- BZA Variance / Special Permit
 Council Variance
 Rezoning
 Graphics Variance / Plan / Special Permit

Recommendation:

(Check only one and list basis
for recommendation below)

- Approval
 Disapproval

NOTES:

The city has not sufficiently addressed density related traffic safety and it takes for long after development to address ie ie mt venon and Chapman

Vote:

5-76-0

Signature of Authorized Representative:

SIGNATURE

RECOMMENDING GROUP TITLE

DAYTIME PHONE NUMBER

Please e-mail this form to the assigned planner within 48 hours of your meeting day; or MAIL to: Assigned Planner, City of
MAIL to: Columbus, Department of Building & Zoning Services, 111 N. Front St, Columbus, OH 43215.



Rezoning Application

DEPARTMENT OF BUILDING AND ZONING SERVICES

111 N Front Street, Columbus, Ohio 43215
 Phone: 614-645-4522 • ZoningInfo@columbus.gov • www.columbus.gov/bzs

PROJECT DISCLOSURE STATEMENT

APPLICATION #: Z21-029

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

STATE OF OHIO
 COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Eric Zartman
 of (COMPLETE ADDRESS) 8000 Walton Parkway, Suite 260, New Albany, Ohio 43054
 deposes and states that (he/she) is the APPLICANT, AGENT, OR DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

Name of Business or individual (including contact name and number)
 Business or individual's address; City, State, Zip Code
 Number of Columbus-based employees
 (Limited to 3 lines per box)

<p>1. Metropolitan Holdings 1433 Grandview Avenue, Columbus, Ohio 43212 Emps: 0 Contact: Joseph McCabe 614-488-1900 x22</p>	<p>2. City of Columbus, Land Redevelopment Office 845 Parsons Avenue, Columbus, Ohio 43206 Emps: 10,000+ Contact: John Turner 614-645-2551</p>
<p>3. 104 Garfield LLC c/o Metropolitan Holdings 1433 Grandview Ave. Columbus, Ohio 43212</p>	<p>4.</p>

Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT *[Signature]*

Sworn to before me and signed in my presence this 10th day of November, in the year 2021

SIGNATURE OF NOTARY PUBLIC *[Signature]*

My Commission Expires 1-11-2026

Notary Seal Here
KIMBERLY R. GRAYSON
 Notary Public, State of Ohio
 My Commission Expires
 01-11-2026



This Project Disclosure Statement expires six (6) months after date of notarization.