

SURVEY NOTE
A TOPOGRAPHIC SURVEY PROVIDED BY SITE ENGINEERING, INC.
BASIS OF BEARINGS
BEARINGS FOR THIS SURVEY ARE BASED ON THE OHIO STATE PLANE ADJUSTMENT OF 1983, (NAD 83), SOUTH ZONE, NAD 83

VERTICAL DATUM
ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)
NO PRIVATE ELEVATIONS ARE PERMITTED TO ENDOACH INTO THE RIGHT-OF-WAY ELEVATIONS OR WALLS LIMITED TO STAIRS, BALCONIES, FOUNDATIONS, DOORS, OVERHEAD

EXPIRATION NOTE:
DATE OF EXPIRATION: THIS PLAN IS VALID FOR ONE (1) YEAR FROM DATE OF APPROVAL.
PARKLAND DEDICATION ORNANCE: 02318 DOES NOT APPLY.

SANITARY SEWER NOTE:
SANITARY SERVICES ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY. APPROVAL OF LOCATIONS, CONNECTIONS, AND DEPT. OF PUBLIC WORKS SHALL BE OBTAINED PRIOR TO CONSTRUCTION. SANITARY SEWER SERVICE APPROVAL, CONNECTION TO SANITARY SEWER CANNOT BE MADE WITHOUT OBTAINING A PERMIT FROM SEWER DEPARTMENT OFFICE 111 N. FRONT ST. 5TH FLOOR (614) 452-4860.

SANITARY DEMOLITION NOTE:
PRIOR TO DEMOLITION, A PERMIT FOR SANITARY MATERIALS TO BE CARRIED OFF MUST BE OBTAINED FROM THE SEWER DEPARTMENT OFFICE 111 N. FRONT ST. 5TH FLOOR (614) 452-4860.

STORMWATER SEWER NOTE:
REMOVAL AND INSTALLATION OF A STORM SEWER CANNOT BE MADE WITHOUT A PERMIT FROM THE SEWER DEPARTMENT OFFICE 111 N. FRONT ST. 5TH FLOOR (614) 452-4860.

WATER QUALITY NOTE:
PROPOSED IMPROVEMENTS SHALL DESTROY LESS THAN 1 A.C. THEREFORE WATER QUALITY IMPROVEMENTS ARE NOT REQUIRED.

DIVISION OF POWER NOTE:
CONNECTIONS AND STREET LIGHTING AT THIS WORK LOCATION, THE CONTRACTOR IS HEREBY REQUIRED TO CONTACT THE CITY OF COLUMBUS UTILITIES DEPARTMENT PRIOR TO CONDUCTING ANY ACTIVITY WITHIN THE CONSTRUCTION AREA.

ANY REQUIRED REDUCTION, SUPPORT, PROTECTION, OR ANY OTHER ACTIVITY TO BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECTION OF DCP PERSONNEL AND AT THE EXPENSE OF THE PROJECT DCP SHALL MAKE ALL FINAL CONNECTIONS TO STREET LIGHTING SYSTEM BY FOLLOWING DCP'S MATERIAL AND INSTALLATION SPECIFICATIONS. CONTRACTOR SHALL USE MATERIAL AND MAKE REPAIRS TO CITY OF COLUMBUS STREET LIGHTING SYSTEM AS REFERRED TO IN SECTION 1001.11 OF THE CITY SPECIFICATIONS (CONS). ANY NEW OR REINSTALLED UNDERGROUND STREET LIGHT LOCATIONS / LIGHT FIXTURES SHALL BE IDENTIFIED WITH COPIES OF WHICH ARE AVAILABLE FROM DCP.

IF ANY ELECTRIC FACILITY BELONGING TO DCP IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND RESTORING THE FACILITY TO ORIGINAL CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE EXPENSE OF SUCH DIVISION OF POWER, CITY OF COLUMBUS, OHIO.

EROSION AND SEDIMENT CONTROL NOTE
LAND DISTURBANCE AREAS LESS THAN ONE ACRE AND NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT ARE NOT REQUIRED TO SUBMIT TO THE CITY OF COLUMBUS A FULL EROSION AND SEDIMENT CONTROL PLAN. LAND DISTURBANCE ACTIVITIES MUST COMPLY WITH ALL CITY REGULATIONS OF THE DIVISION OF SEWERAGE AND DRAINAGE, EROSION AND SEDIMENT CONTROL REGULATION. ALL LAND DISTURBANCE ACTIVITIES MUST BE CONDUCTED IN ACCORDANCE WITH THE CITY OF COLUMBUS REGULATIONS TO PREVENT COMBINATION WITH CITY STANARDS AND REGULATIONS. FAILURE TO COMPLY WITH THESE REGULATIONS MAY SUBJECT THE SITE TO ENFORCEMENT ACTION BY THE DIVISION OF SEWERAGE AND DRAINAGE. THE EROSION AND SEDIMENT CONTROL PLAN MAY BE REFERRED TO THE STORMWATER MANAGEMENT OFFICE AT (614) 964-6411.

ON-SITE CONTACT: ERIC SCHEIDT
PHONE: 614-244-3378
EMAIL: ERIC.SCHEIDT@CITYOF.COLUMBUS.OH.GOV
STREET: 111 N. FRONT ST. 5TH FLOOR

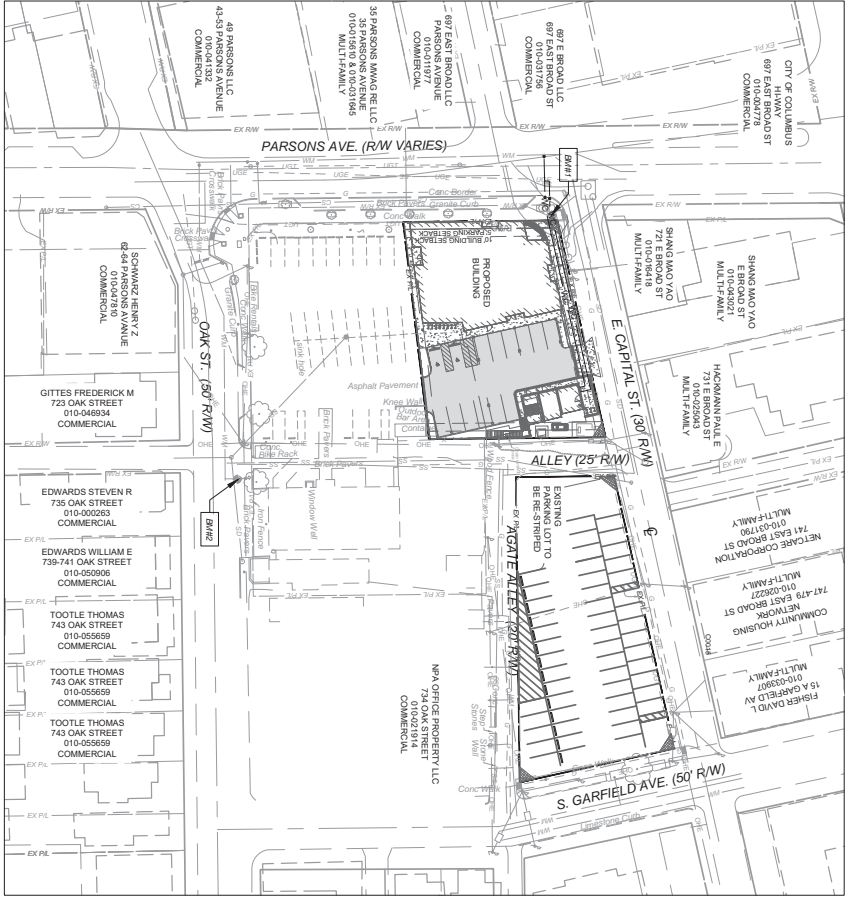
SITE PLAN NOTES:
THE PROPOSED PROJECT WILL COMPLY WITH THE FOLLOWING SECTIONS:
• 3312.01 & 3312.02 CONCRETE AREA
• 3312.03 & 3312.04 LIGHTING
• 3312.05 & 3312.06 SIGNAGE
• 3312.07 & 3312.08 WINDSHIELD WASHING
• 3312.09 & 3312.10 LIGHTING
• 3312.11 & 3312.12 REQUIRED SURFACE FOR PARKING
• 3312.13 & 3312.14 WHEEL STOP DEVICE

UNDERGROUND UTILITIES
2 WORKING DAYS BEFORE YOU DIG
CALL 811 OR VISIT WWW.CITYOF.COLUMBUS.OH.GOV/811
PROVIDE LOCATION AND DEPTH OF ALL UTILITIES TO THE CONTRACTOR.
MARK AND VERIFY UTILITIES.

CPD SITE PLAN

THE CUMBERLAND-OLDE TOWNE EAST

MULTI-USE DEVELOPMENT
COLUMBUS, OHIO 43205
2023



INDEX MAP
SCALE: 1"=40'

1 2 3 4 5

APARTMENT BUILDING SITE DATA TABLE

| | |
|-----------------------------------|------|
| TOTAL SITE AREA (AC) | 0.34 |
| TOTAL DISTURBED AREA (AC) | 0.30 |
| PRE-EXISTING OPEN SPACES (AC) | 0.31 |
| POST-DEVELOPMENT OPEN SPACES (AC) | 0.31 |

PARKING LOT SITE DATA TABLE

| | |
|-----------------------------------|------|
| TOTAL SITE AREA (AC) | 0.35 |
| TOTAL DISTURBED AREA (AC) | 0.35 |
| PRE-EXISTING OPEN SPACES (AC) | 0.35 |
| POST-DEVELOPMENT OPEN SPACES (AC) | 0.32 |

GENERAL ZONING INFORMATION

| | |
|-----------------------------|--|
| OWNER/DEVELOPER: | RYOTE LLC |
| PROJECT DESCRIPTION: | CONSTRUCTION OF 6-STORY MULTI-USE BUILDING |
| FLOOD DESIGNATION: | NO FLOOD |
| GENERAL ZONING INFORMATION: | COMMERCIAL & MULTIFAMILY |
| ADDRESS: | 15 W. CHERRY STREET - SUITE 201 |
| PARCEL NO.: | 010-018928 |
| OWNER/DEVELOPER: | RYOTE LLC |
| ADDRESS: | 15 W. CHERRY STREET - SUITE 201 |
| PARCEL NO.: | 010-018928 |
| OWNER/DEVELOPER: | RYOTE LLC |
| ADDRESS: | 15 W. CHERRY STREET - SUITE 201 |
| PARCEL NO.: | 010-018928 |

PARKING CALCULATION

| | | | | | | | |
|-----------------------------------|-------------|----------|-----------------------|----------------|-----|----------------|-----|
| USE: | RESIDENTIAL | 51 UNITS | 1.50 UNIT = 77 SPACES | MINIMUM SPACES | N/A | MAXIMUM SPACES | N/A |
| USE: | COMMERCIAL | 3,800 SF | 1,100 SF = 30 SPACES | MINIMUM SPACES | N/A | MAXIMUM SPACES | N/A |
| TOTAL REQUIRED PARKING: | | | 107 | | | | |
| TOTAL PROVIDED PARKING: | | | 65 | | | | |
| REQUIRED ADA PARKING (MIN TOTAL): | | | 1/3 | | | | |
| PROVIDED ADA PARKING (MIN TOTAL): | | | 6 | | | | |
| REQUIRED BI-CYCLE PARKING: | | | 1/3 | | | | |
| PROVIDED BI-CYCLE PARKING: | | | 6 | | | | |

INDEX OF SHEETS

1 TITLE SHEET
3 SITE LAYOUT PLAN

PRELIMINARY SITE COMPLIANCE PLAN #TBD
FINAL SITE COMPLIANCE PLAN #TBD
WATER SERVICE PLAN #TBD
STORM CC PLAN #TBD



OSBORN ENGINEERING
NEW MULTI-USE DEVELOPMENT

THE CUMBERLAND OLDE TOWNE EAST

RW

OSBORN ENGINEERING

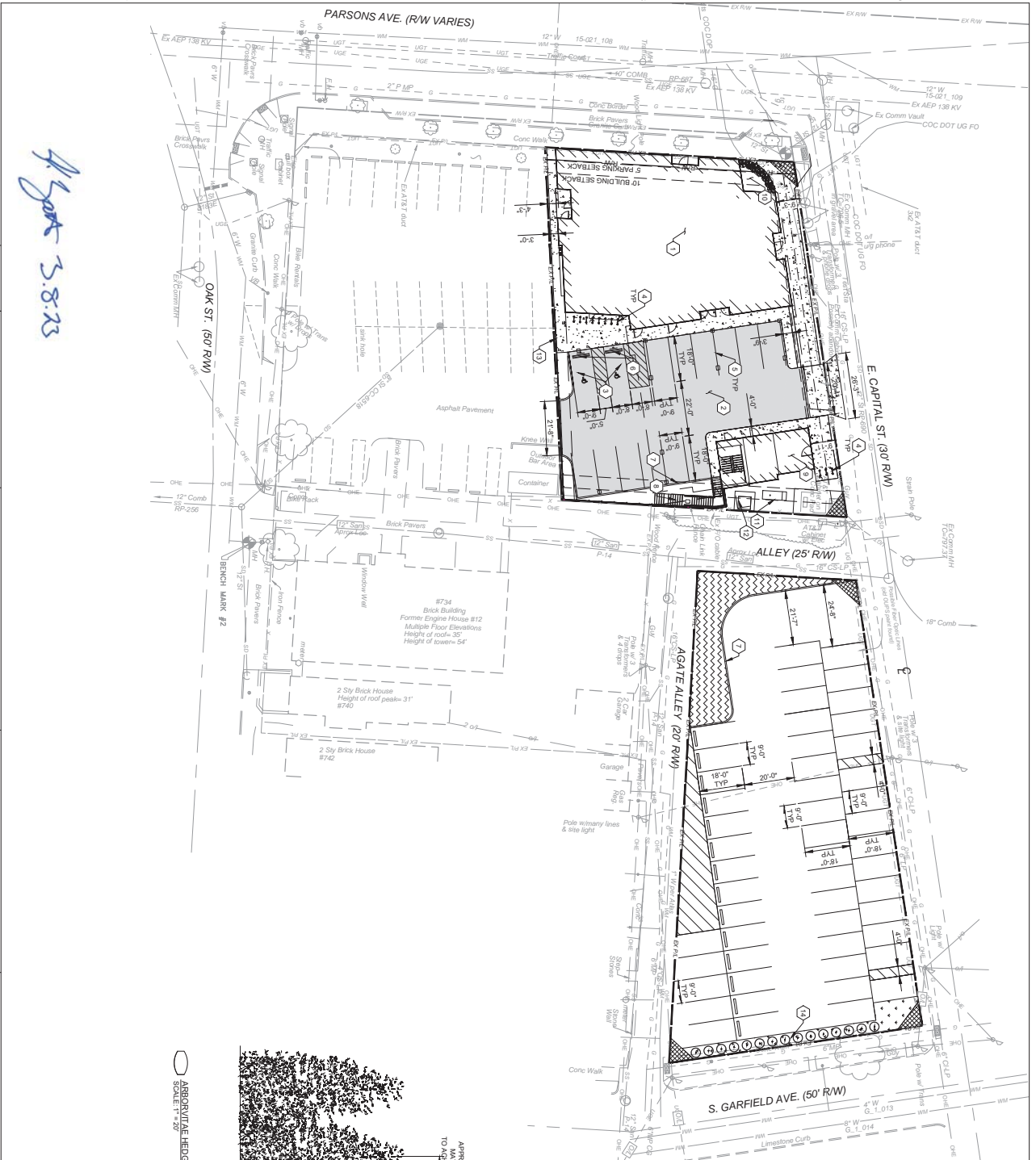
OWNER/DEVELOPER: RYOTE LLC
PROJECT DESCRIPTION: CONSTRUCTION OF 6-STORY MULTI-USE BUILDING
FLOOD DESIGNATION: NO FLOOD
GENERAL ZONING INFORMATION: COMMERCIAL & MULTIFAMILY
ADDRESS: 15 W. CHERRY STREET - SUITE 201
PARCEL NO.: 010-018928
OWNER/DEVELOPER: RYOTE LLC
ADDRESS: 15 W. CHERRY STREET - SUITE 201
PARCEL NO.: 010-018928

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MARK AND VERIFY UTILITIES.



- 4 SITE LAYOUT CODED NOTES:**
- PROPOSED APARTMENT BUILDING (SEE ARCHITECTURAL PLANS)
 - PROPOSED PARKING LOT
 - PROPOSED ADA ACCESSIBLE PARKING SPACE (SEE DETAIL A SHEET 9)
 - PROPOSED BICYCLE RACK (SEE DETAIL B, SHEET 9)
 - PROPOSED PAVEMENT MARKING (SEE DETAIL C, SHEET 9)
 - PROPOSED WHEEL STOP (SEE DETAIL D, SHEET 9)
 - PROPOSED 18" STRAIGHT CURB (SEE DETAIL E, SHEET 9)
 - PROPOSED STAIRS (SEE ARCHITECTURAL PLANS)
 - PROPOSED SERVICE BUILDING (SEE ARCHITECTURAL PLANS)
 - PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS)
 - PROPOSED ELECTRIC GENERATOR LOCATION (SEE ARCHITECTURAL PLANS)
 - PROPOSED ELECTRIC TRANSPORTATION LOCATION (SEE ARCHITECTURAL PLANS)
 - PROPOSED WOOD FENCE (SEE ARCHITECTURAL PLANS)
 - PROPOSED ABOVE-GRADE LANDSCAPE SCREENING (SEE DETAIL THIS SHEET)
- SITE PLAN LEGEND**
- PROPOSED CONCRETE SIDEWALK (PER DETAIL F, SHEET 9)
 - PROPOSED ASPHALT PAVEMENT (PER DETAIL G, SHEET 9)
 - 10" VISION TRANSGRADE
 - PROPOSED PEI FRIENDLY SURFACE AREA
- SITE LAYOUT NOTES:**
- DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED
 - EXISTING PAVEMENT GRASSES TO MATCH (FINISH WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT)
 - PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO MATCH EXISTING PAVEMENT JOINTS
 - ALL PROPOSED PARKING MARKINGS TO BE IN WHITE AND WHITE IN COLOR, UNLESS OTHERWISE NOTED
- NOTES:**
- THE AMOUNT OF TREE AND SHRUB PLANTING APPROPRIATE TO COUNTER THE IMPACT OF REMOVED VEGETATION SHALL BE DETERMINED BY THE ARCHITECT AND LANDSCAPE ARCHITECT TO ACHIEVE DESIRED DENSITY
- SPACING AS SHOWN SHALL BE MAINTAINED TO MAINTAIN THE DESIRED DENSITY
- THE PAINTING SHALL BE TWICE THE DIAMETER OF THE PIPE OR CONDUIT (SEE DETAIL C AND F, SHEET 9)
- CONDUIT SHALL BE 2" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED
- DO NOT CUT MAIN LEADER
- ABBREVIATION LEGEND:**
- EX - EXISTING
 - CL - CENTER LINE
 - PH - PROPERTY LINE
 - CF - FINISH FLOOR ELEVATION
 - SS - SANITARY SEWER
 - SE - COMBINED SEWER ELECTRIC
 - WM - WATER MAIN
 - SC - STORM SEWER
 - G - GAS
 - TC - TOP OF CASTING

THE CUMBERLAND OLDE TOWNE EAST

NEW MULTI-USE DEVELOPMENT

OSBORN ENGINEERING

ARCHITECTS

RW

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DRAWN BY: [Name]

CHECKED BY: [Name]

CLIENT PROJ. NO. 2022-07-2000

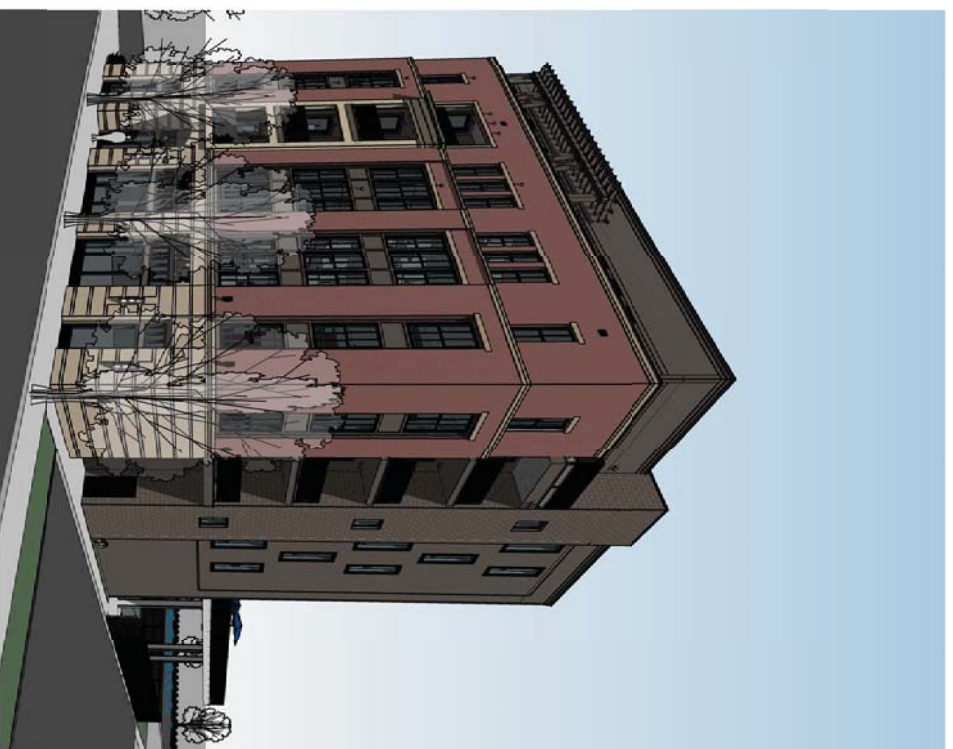
OSBORN PROJ. NO. 2022-07-2000

SITE LAYOUT PLAN

DRAWING NO. **3**



Perspective to Southeast



Perspective to Northeast



The Cumberland Mixed Use Development

30 Parsons Avenue, Columbus, Ohio 43205

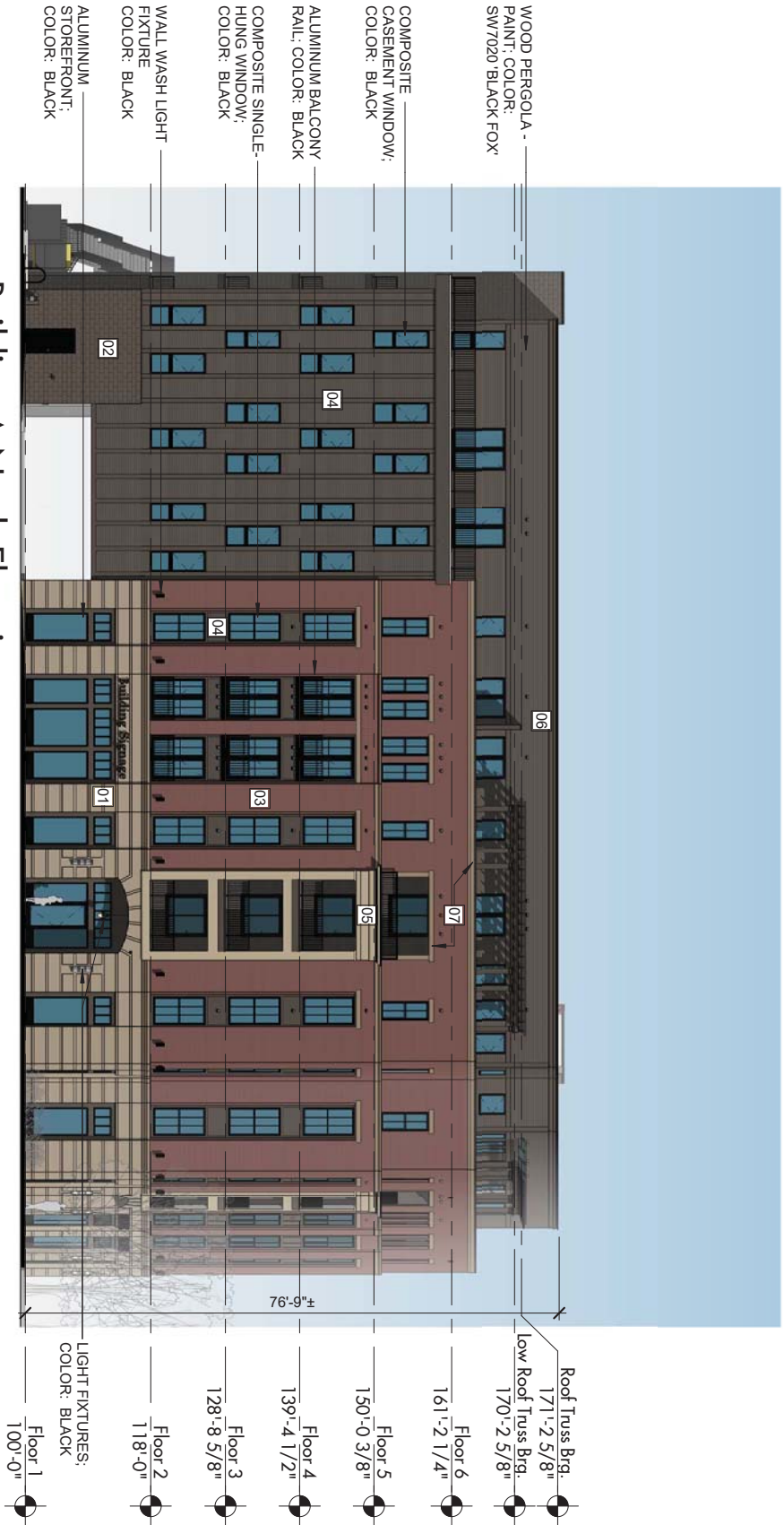
3/8/2023



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4 Spots 3.8.23

Elevations - Sheet 2



Building A North Elevation
1/16" = 1'-0"

- 01. CAST STONE VENEER
- 02. SPLIT-FACE CONCRETE MASONRY VENEER
- 03. SYNTHETIC BRICK VENEER
- 04. FIBER CEMENT SIDING
- 05. FIBER CEMENT TRIM
- 06. CORRUGATED METAL SIDING
- 07. SYNTHETIC STUCCO

08. FACADE AREA FOR MURAL ART HANGING LIGHT FIXTURE: COLOR: BLACK 20"(H)



LIGHT FIXTURE: COLOR: BLACK 36"(H)

SULLIVAN BRUCK ARCHITECTS

RIVERWEST PARTNERS

The Cumberland Mixed Use Development






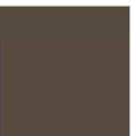


30 Parsons Avenue, Columbus, Ohio 43205

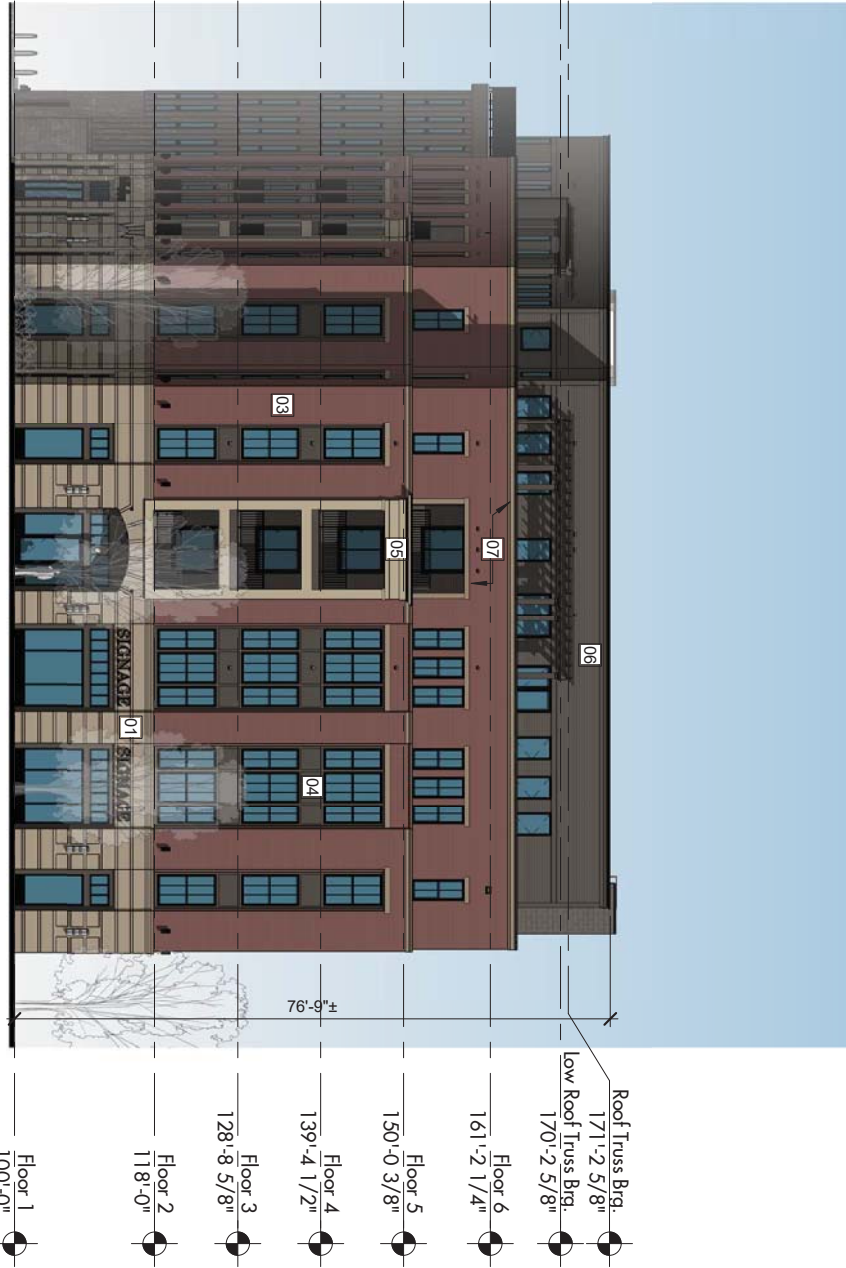
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4 spots 5.8.23

Elevations - Sheet 3

| | | | | | |
|---|-------------------------|---|--|---|-----------------------------|
|  | 01. CAST STONE VENEER |  | 02. SPLIT-FACE CONCRETE MASONRY VENEER |  | 03. SYNTHETIC BRICK VENEER |
|  | 04. FIBER CEMENT SIDING |  | 05. FIBER CEMENT TRIM |  | 06. CORRUGATED METAL SIDING |
|  | 07. SYNTHETIC STUCCO |  | 08. FACADE AREA FOR MURAL ART | | |



Building A West Elevation
1/16" = 1'-0"



The Cumberland Mixed Use Development

30 Parsons Avenue, Columbus, Ohio 43205

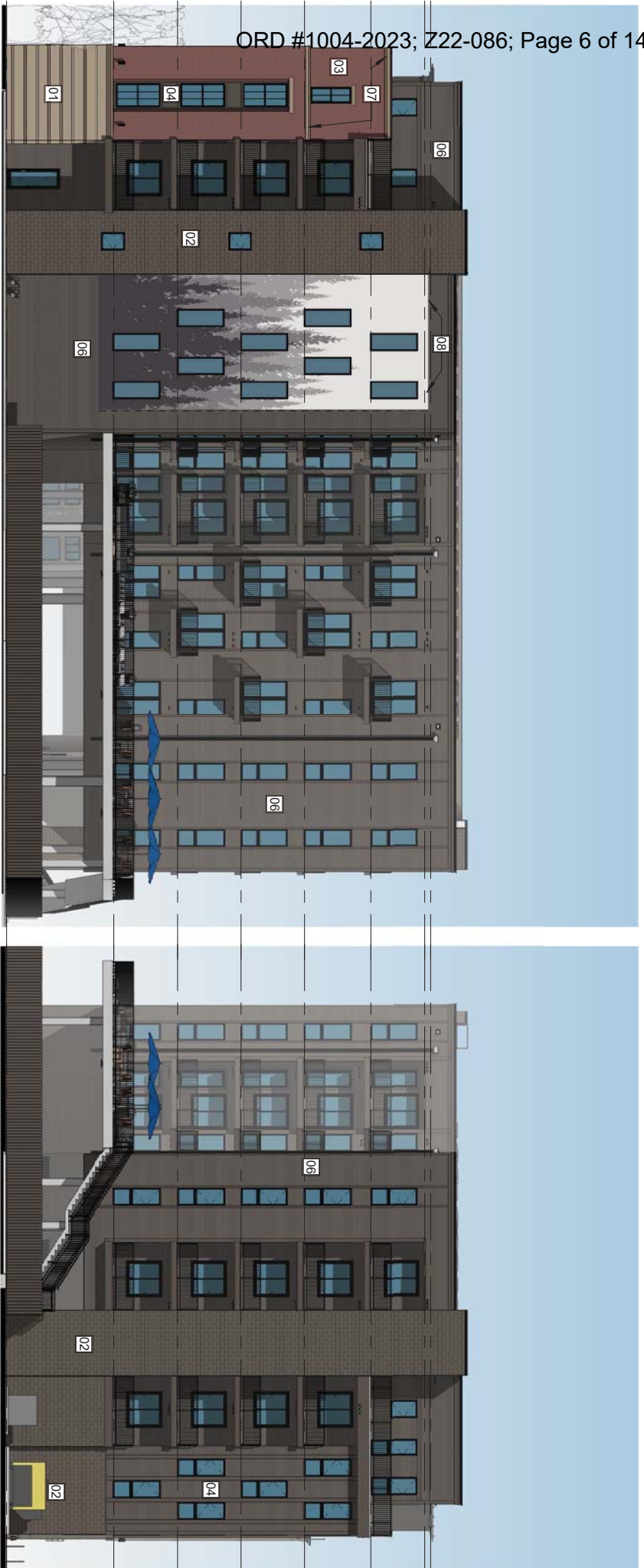
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4 spots 5.8.23

Elevations - Sheet 4



Building A South Elevation
1/16" = 1'-0"

Building A East Elevation
1/16" = 1'-0"

- 01. CAST STONE VENEER
- 02. SPLIT-FACE CONCRETE MASONRY VENEER
- 03. SYNTHETIC BRICK VENEER
- 04. FIBER CEMENT SIDING
- 05. FIBER CEMENT TRIM
- 06. CORRUGATED METAL SIDING
- 07. SYNTHETIC STUCCO
- 08. FACADE AREA FOR MURAL ART



The Cumberland Mixed Use Development

30 Parsons Avenue, Columbus, Ohio 43205

3/8/2023



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4 spots 5.8.23

Elevations - Sheet 5



Amenity Deck Perspective

The Cumberland Mixed Use Development

30 Parsons Avenue, Columbus, Ohio 43205

3/8/2023



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4 spots 5.8.23

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
FEBRUARY 9, 2023**

- 8. APPLICATION:** [Z22-086](#)
- Location:** **30 PARSONS AVE. (43215)**, being 0.67± acres located at the southeast corner of Parsons Avenue and East Capital Street (010-216928, 010-004381, and 010-004453; Near East Area Commission).
- Existing Zoning:** CPD, Commercial Planned Development District and ARLD, Apartment Residential District.
- Request:** CPD, Commercial Planned Development District (H-60).
- Proposed Use:** Mixed-use development.
- Applicant(s):** RWOTE, LLC; c/o David Hodge, Atty.; 8000 Walton Parkway, Suite 260; New Albany, OH 43054.
- Property Owner(s):** The Applicant.
- Planner:** Kelsey Priebe; 614-645-1341; krpriebe@columbus.gov

BACKGROUND:

- The site consists of three parcels developed with two parking lots in the CPD, Commercial Planned Development District and ARLD, Apartment Residential District. The applicant is requesting the CPD, Commercial Planned Development District to permit a mixed-use development containing up to 3,000 square feet of commercial space, 51 dwelling units, and a new parking lot. The western portion of the site is located within the boundaries of the Parsons Avenue/Olde Towne Quarter Urban Commercial Overlay.
- To the north of the site are offices and multi-unit dwellings in the AR-O, Apartment Office District. To the south is a parking lot and eating and drinking establishment in the CPD, Commercial Planned Development District and single-unit dwellings in the R-3, Residential District. To the east is a commercial building in the ARLD, Apartment Residential District, permitted by CV95-046. To the west, across Parsons Avenue, is a parking lot in the CPD, Commercial Planned Development District and a multi-unit dwelling in the ARLD, Apartment Residential District.
- Concurrent CV22-118 has been filed to allow ground-floor residential uses. That request will be heard by City Council and will not be considered at this Development Commission meeting.
- A portion of the site is located within the boundaries of the *Near East Area Plan (2005)*, which recommends “Higher Density Residential/ Mixed Use” land uses at this location. The Plan encourages higher residential densities designed such that they ensure an appropriate transition to lower densities in the surrounding neighborhood.
- The site is located within the boundaries of the Near East Area Commission, whose recommendation is for approval.

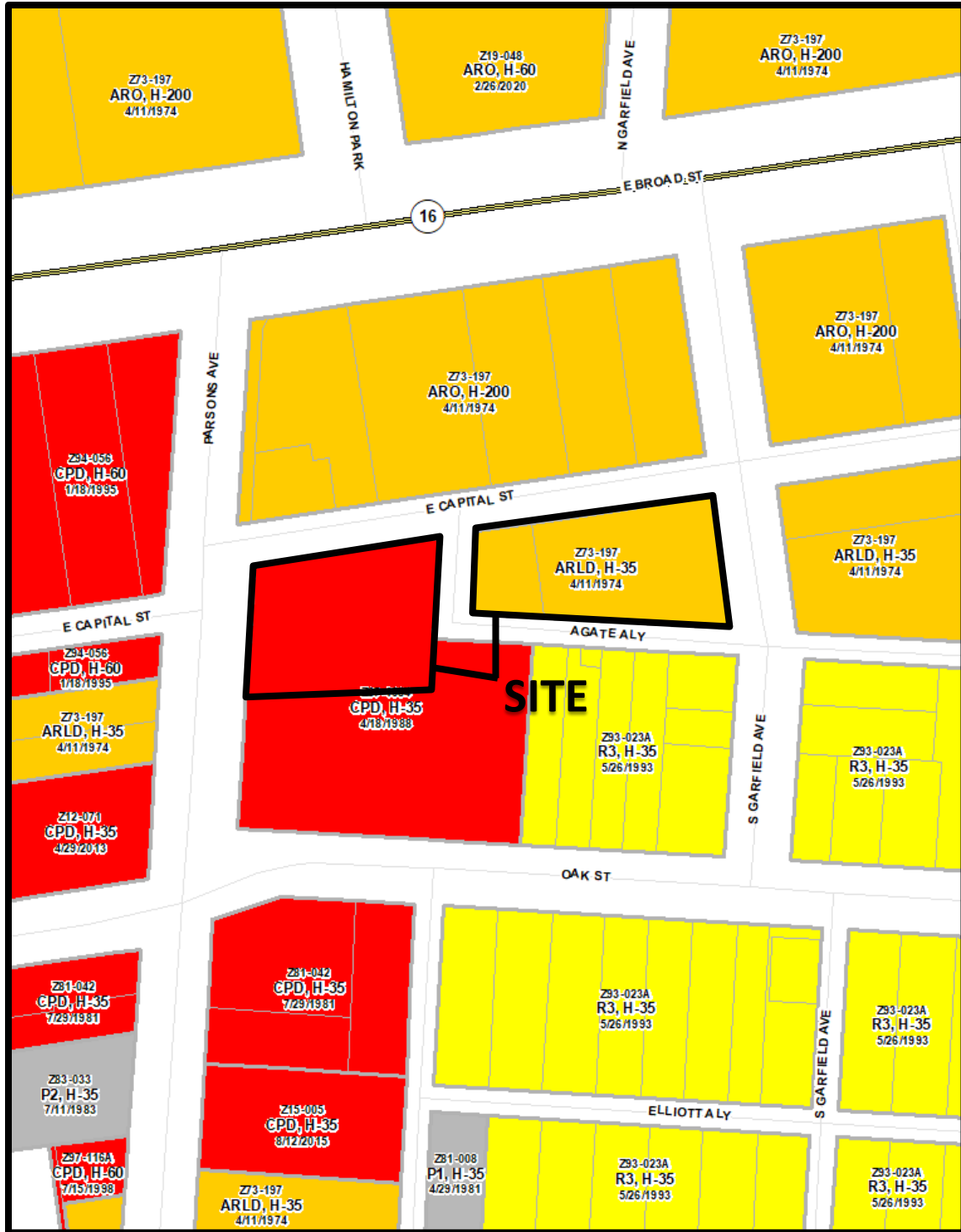
- The development text establishes use restrictions and supplemental development standards addressing density, setbacks, site access, landscaping, building design, lighting, and graphics commitments. Included in the text are code modifications to building height, minimum number of required parking spaces, parking setback line, vision clearance, and building design standards. Additionally, the text includes commitments to develop the site in accordance with the submitted site plan and building elevations.
- The *Columbus Multimodal Thoroughfare Plan* (2018) identifies this portion of Parsons Avenue as an Urban Community Connector requiring 80 feet of right-of-way.

CITY DEPARTMENTS' RECOMMENDATION: ~~Conditional approval.~~ ***Approval.**

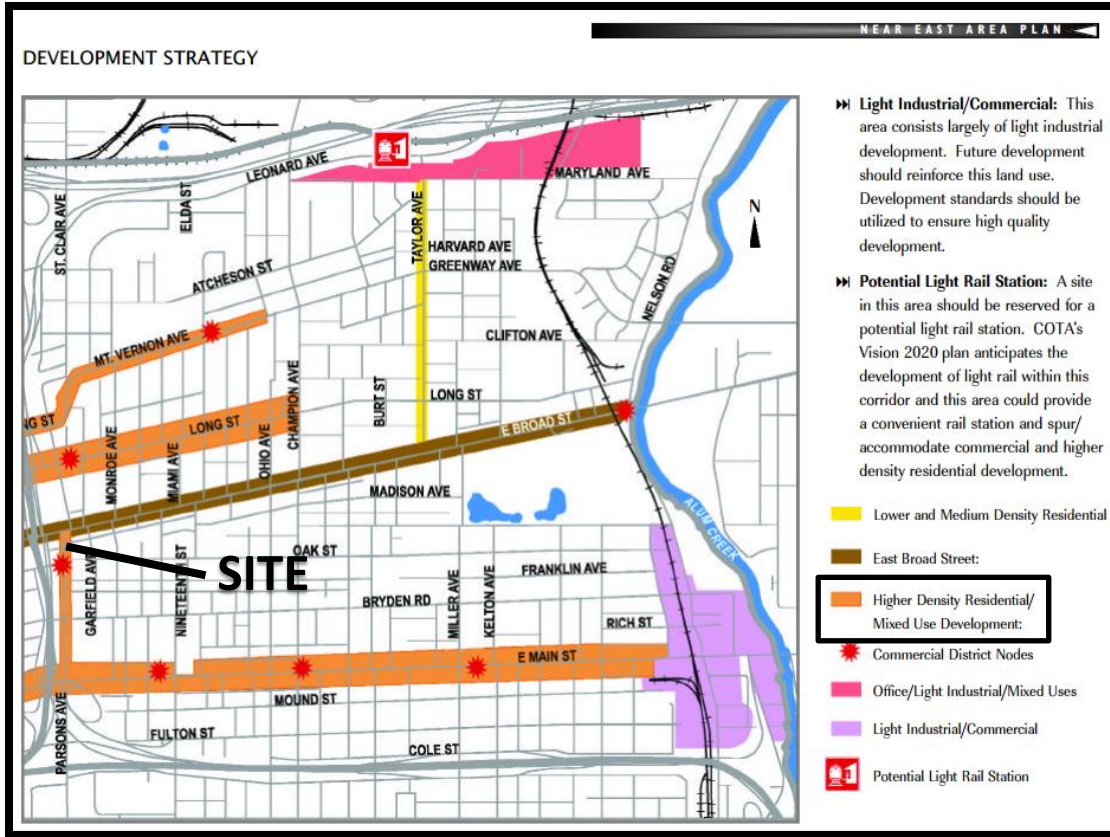
The requested CPD, Commercial Planned Development District will allow a mixed-use development which is consistent with the *Near East Area Plan's* (2005) recommendations. The Plan encourages higher residential densities designed such that they ensure an appropriate transition to lower densities in the surrounding neighborhood. The proposed mix of uses, building elevations that focus most intensely on Parsons Avenue, and site plan that provides a buffer from neighboring residential to the east are consistent with these recommendations and therefore supported. Staff is also supportive of the requested parking reduction as the site is in an established urban area with access to multiple modes of transit, and considered consistent with Plan guidelines recommending a balance of parking with the need to maintain the area's historic fabric. Planning Division staff requests additional bicycle parking beyond that required by code, and recommend bike racks be distributed both underneath the proposed parking structure and along the frontage. Additionally, as the proposed lot serves the mixed-use development fronting Parsons Avenue, the Plan's guidelines seek to minimize negative impacts of parking and recommend screening from public streets with a metal tube fence or masonry wall. Staff request such screening be provided along the South Garfield Avenue frontage, and also request the applicant investigate the feasibility of providing a parking lot island with tree or landscaping within the triangular space along Agate Alley.

To note: A parking study has been approved by the Division of Mobility and Parking in conjunction with this application and a right-of-way dedication exception request has been approved in conjunction with this application. Current versions of the CPD text and site plan will need to be provided for review for consistency with previous discussions and to ensure that previous comments from the Division of Traffic Management are resolved.

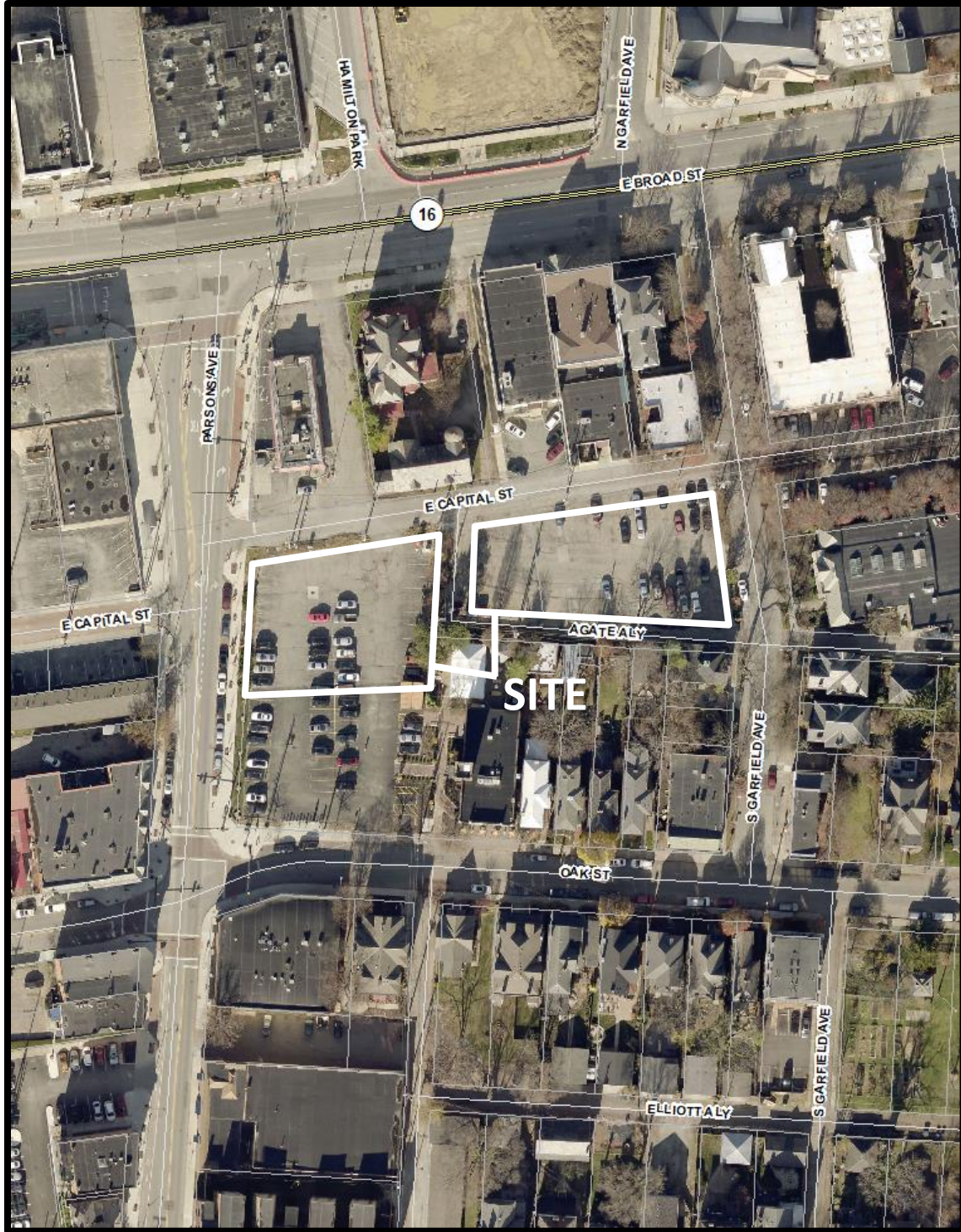
***NOTE:** Planning is in full support of this proposal after receiving additional information on bicycle parking. Staff continue to encourage consideration of enhanced parking lot screening in the southwest corner of the lot, but do not condition support on this revision. The Division of Traffic Management's comments have been addressed.



Z22-086
30 Parsons Ave.
Approximately 0.67 acres
CPD, ARLD to CPD



Z22-086
 30 Parsons Ave.
 Approximately 0.67 acres
 CPD, ARLD to CPD



Z22-086
30 Parsons Ave.
Approximately 0.67 acres
CPD, ARLD to CPD

Standardized Recommendation Form

DEPARTMENT OF BUILDING
AND ZONING SERVICES

111 N Front Street, Columbus, Ohio 43215
Phone: 614-645-4522 • ZoningInfo@columbus.gov • www.columbus.gov/bzs

FOR USE BY: AREA COMMISSION / NEIGHBORHOOD GROUP
(PLEASE PRINT)

Case Number 222-086 & CV 22-118

Address 30 Parsons Ave

Group Name Near East Area Commission

Meeting Date 11/2/2023

Specify Case Type
 BZA Variance / Special Permit
 Council Variance
 Rezoning
 Graphics Variance / Plan / Special Permit

Recommendation (Check only one)
 Approval
 Disapproval

LIST BASIS FOR RECOMMENDATION:

Commissioners have serious concerns regarding parking - especially if retail space is a restaurant. Concern is that other residents in adjacent properties will struggle to find parking.

Vote 6-1-7

Signature of Authorized Representative [Signature]

Recommending Group Title Chair

Daytime Phone Number 614-403-2225

Please e-mail this form to the assigned planner within 48 hours of meeting day; OR FAX to Zoning at (614) 645-2463; OR MAIL to: Zoning, City of Columbus, Department of Building & Zoning Services, 111 N Front Street, Columbus, Ohio 43215.

Rezoning Application

DEPARTMENT OF BUILDING
AND ZONING SERVICES

111 N Front Street, Columbus, Ohio 43215
Phone: 614-645-4522 • ZoningInfo@columbus.gov • www.columbus.gov/bzs

PROJECT DISCLOSURE STATEMENT

APPLICATION #: Z22-086

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Eric Zartman
of (COMPLETE ADDRESS) 8000 Walton Parkway, Suite 260, New Albany, Ohio 43054
deposes and states that (he/she) is the APPLICANT, AGENT, OR DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

Name of Business or individual (including contact name and number)
Business or individual's address; City, State, Zip Code
Number of Columbus-based employees
(Limited to 3 lines per box)

| | |
|--|---|
| <p>1. RWOTE, LLC 15 West Cherry Street, Suite 201 Columbus, Ohio 43215</p> | <p>2. Community Housing Network, Inc. 1680 Watermark Drive Columbus, Ohio 43215</p> |
| <p>3.</p> | <p>4.</p> |

Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT *[Signature]*

Sworn to before me and signed in my presence this 25th day of October, in the year 2022

SIGNATURE OF NOTARY PUBLIC *[Signature]* My Commission Expires 1-11-2026 Notary Seal Here



KIMBERLY R. GRAYSON
Notary Public, State of Ohio
My Commission Expires
01-11-2026

This Project Disclosure Statement expires six (6) months after date of notarization.