

WALL MOUNTED SHEETZ BUILDING SIGN



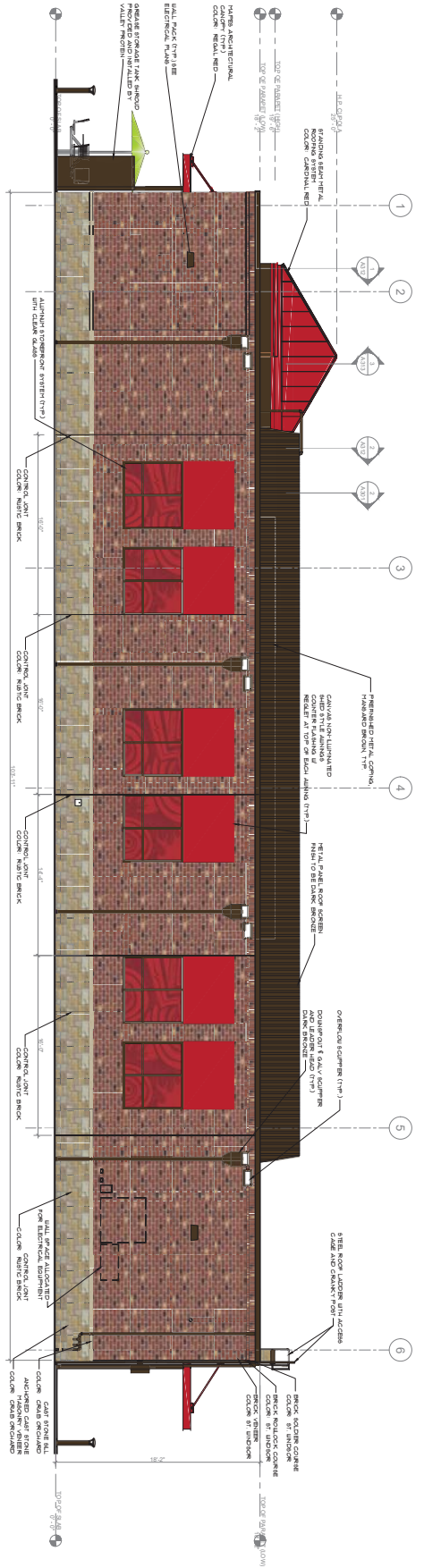
WALL MOUNTED MTO BUILDING SIGN

Graphics are conceptual only and subject to review/approval by the Graphics Commission

SkilkenGold Development
 Frank Petruziello, President of Development

Final Elevations Received 8.20.20 Sheet 1 of 2 Z20-038

<p>REVISIONS</p> <table border="1"> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		DATE	BY	DESCRIPTION										<p>CONVENIENCE ARCHITECTURE AND DESIGN P.C.</p> <p>351 Sheetz Way, Claysburg, PA 16825 (814)239-6013</p>	<p>EXTERIOR BUILDING ELEVATIONS</p>	<p>NEC SHEETZ STORE REYNOLDSBURG, OHIO</p> <p>10/11/20 10/11/20 10/11/20</p>
DATE	BY	DESCRIPTION														



3 REAR ELEVATION



4 LEFT ELEVATION

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 Skikengold Development
 Frank Petruziello, President of Development

Final Elevations Received 8.20.20 Sheet 2 of 2 Z20-038

<p>NEC SHEETZ STORE REYNOLDSBURG, OHIO</p> <p>INT. OF TUBING ROAD DOWNS BRIDGE ROAD REYNOLDSBURG, OHIO</p>		<p>EXTERIOR BUILDING ELEVATIONS</p>		<p>Convenience Architecture and Design P.C.</p> <p>351 Sheetz Way, Claysburg, PA 16825 (814)239-6013</p>	
SCALE:	DATE:	BY:	DESCRIPTION:	REVISIONS:	
DATE:	BY:	DESCRIPTION:			

A202
 SHEET 02
 DATE: 8/20/20
 BY: [Signature]

**STAFF REPORT
DEVELOPMENT COMMISSION
SPECIAL ZONING MEETING
CITY OF COLUMBUS, OHIO
JULY 9, 2020**

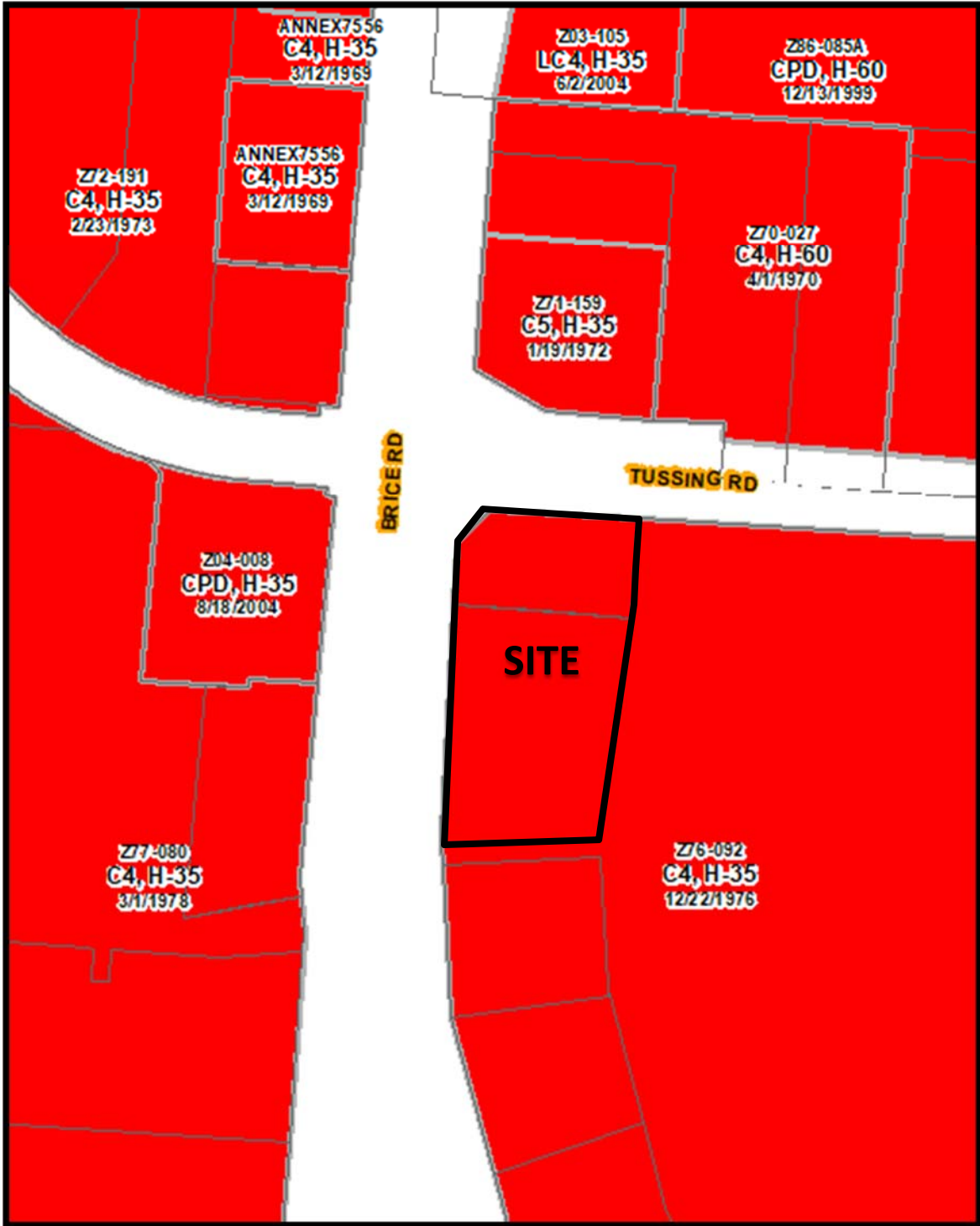
- 9. APPLICATION: Z20-038**
Location: **2700 BRICE RD. (43068)**, being 1.57± acres located at the southeast corner of Brice Road and Tussing Road (530-215421 & 530-214869; Far East Area Commission).
Existing Zoning: C-4, Commercial District.
Request: CPD, Commercial Planned Development District (H-35).
Proposed Use: Fuel sales, convenience store, and eating and drinking establishment.
Applicant(s): Skilken Gold Development, LLC; c/o Ryan Herchenroether; 4270 Morse Road; Columbus, OH 43230.
Property Owner(s): Brixmor GA Apollo I Sub, LLC; 8700 West Bryn Mawr Avenue, Suite 1000S; Chicago, IL 60631.
Planner: Tim Dietrich; 614-645-6665; tedietrich@columbus.gov

BACKGROUND:

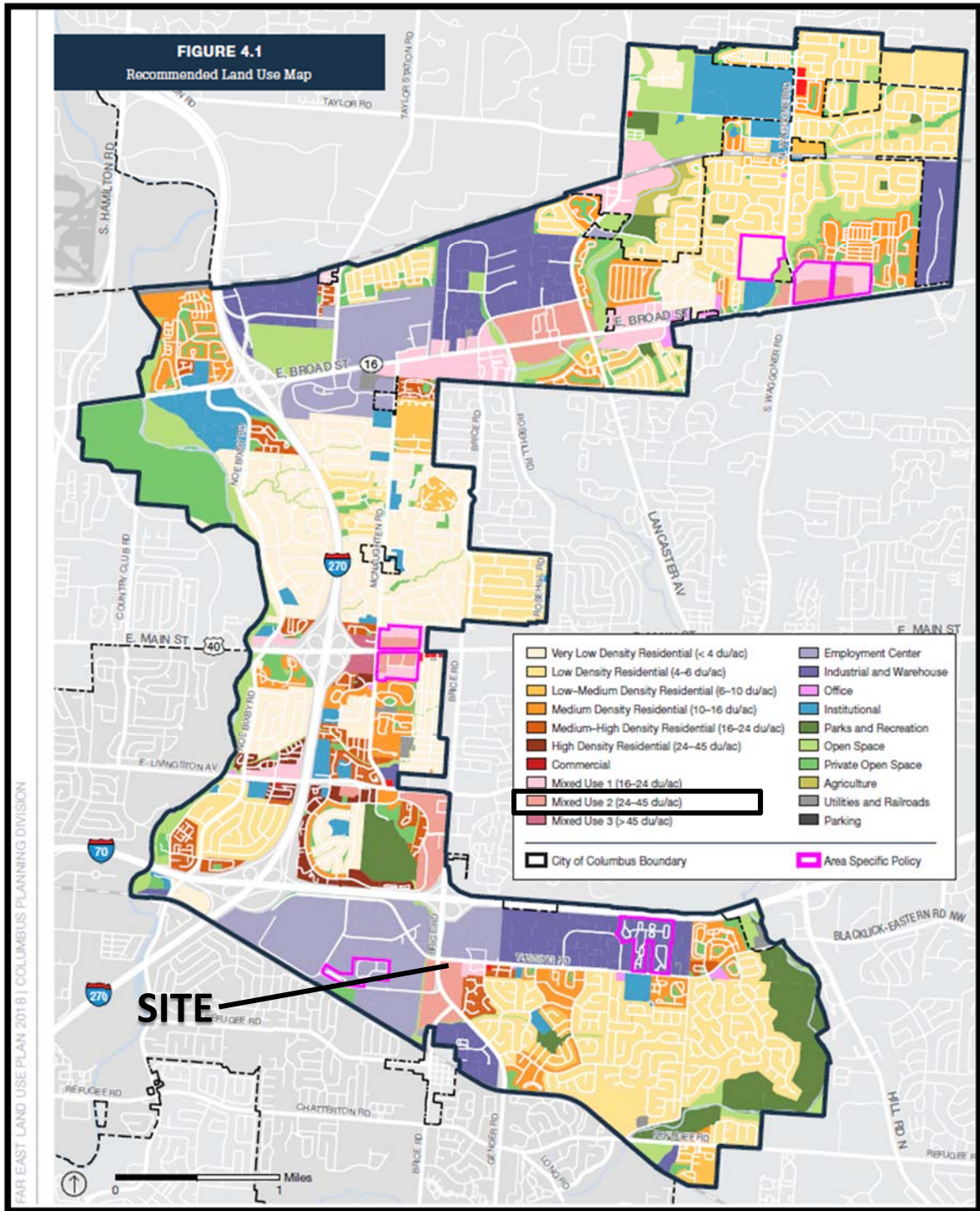
- The 1.57± acre site consists of two parcels developed with a commercial retail and eating and drinking establishment in the C-4, Commercial District. The applicant is requesting the CPD, Commercial Planned Development District to permit redevelopment of the site into fuel sales, convenience store, and accessory eating and drinking establishment uses.
- North of the site is a fueling station in the C-5, Commercial District. South, east, and west of the site are retail, eating and drinking establishment, and shopping center uses in the C-4, Commercial and CPD, Commercial Planned Development districts.
- The site is within the planning boundaries of the *Far East Land Use Plan (2018)*, which recommends “Mixed Use 2” land uses at this location. The Plan incorporates complete adoption of *Columbus Citywide Planning Policies (C2P2) Design Guidelines*.
- The site is located within the boundaries of the Far East Area Commission, whose recommendation is for approval.
- The CPD text establishes use restrictions and supplemental development standards that address building and parking setbacks, traffic access, landscaping and screening, building materials and design, exterior treatments, lightning, and commits to developing the site in accordance with the submitted site plan and building elevations. Additionally, the text includes a variance to reduce the building setback along Brice Road.
- The *Columbus Multimodal Thoroughfare Plan* identifies this portion of Brice Road as a Suburban Commuter Corridor requiring 120 feet of right-of-way and this portion of Tussing Road as a Suburban Commuter Connector requiring 100 feet of right-of-way.

CITY DEPARTMENTS' RECOMMENDATION: Approval.

The proposed CPD, Commercial Planned Development District permits fuel sales, convenience store, and accessory eating and drinking establishment uses. The CPD text establishes appropriate use restrictions and supplemental development standards, and includes commitments to develop the site in accordance with the submitted site plan and building elevations. Staff supports the reduced building setback to accommodate a site plan in which parking and fuel service are located behind the building, consistent with C2P2 Design Guidelines. The proposal is consistent with *Far East Land Use Plan's* land use recommendation and is compatible with the zoning and development pattern at the intersection of Brice Road and Tussing Road.



Z20-038
2700 Brice Rd.
Approximately 1.57 acres
C-4 to CPD



Z20-038
2700 Brice Rd.
Approximately 1.57 acres
C-4 to CPD



Z20-038
2700 Brice Rd.
Approximately 1.57 acres
C-4 to CPD

Standardized Recommendation Form

DEPARTMENT OF BUILDING
AND ZONING SERVICES

111 N Front Street, Columbus, Ohio 43215
Phone: 614-645-4522 • ZoningInfo@columbus.gov • www.bzs.columbus.gov

FOR USE BY: AREA COMMISSION / COMMUNITY GROUP / HISTORIC ARCHITECTURAL REVIEW

Case Number _____

Address _____

Group Name _____

Meeting Date _____

Specify Case Type
BZA Variance / Special Permit
Council Variance
Rezoning
Graphics Variance / Plan / Special Permit

Recommendation
(Check only one) **Approval**
 Disapproval

NOTES:

Several of the Commissioners were familiar with the Sheetz locations in other States and stated they were impressed and would welcome them to this location. Chair Chamberlain even advised the presenters that if Sheetz wanted to open one in the E Broad area, she knows of several good places.
Zoning Committee pointed out that they will be tearing down the vacant PayLess Shoe as well as Asian Star to make the site improvements.
Overall the Commissioners welcomed Sheetz as an employment center.

Vote _____
Signature of Authorized Representative  _____
Recommending Group Title _____
Daytime Phone Number _____

Please **e-mail** this form to **the assigned planner within 48 hours of meeting day**; OR **FAX** to Zoning at (614) 645-2463; OR **MAIL** to: Zoning, City of Columbus, Department of Building & Zoning Services, 111 N Front Street, Columbus, Ohio 43215.

PLEASE NOTE: Incomplete information will result in the rejection of this submittal.
Applications must be submitted by appointment. Call 614-645-4522 to schedule.



Rezoning Application

111 North Front Street, Columbus, Ohio 43215

Phone: 614-645-4522 • www.columbus.gov • zoninginfo@columbus.gov

PROJECT DISCLOSURE STATEMENT

All parties having a 5% or more interest in the project that is the subject of this application should be listed. THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION #: Z20-038

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Frank Petruziello, Agent
of (COMPLETE ADDRESS) 4270 Morse Rd Columbus OH 43230
deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the
following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which
is the subject of this application in the following format:

Name of business or individual (include contact name and number)
Business or individual's address: City, State Zip Code
Number of Columbus based employees
(Limited to 3 lines per box)

Table with 4 columns and 2 rows for listing parties with interest in the project.

Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT

Subscribed to me in my presence and before me this 29 day of April, in the year 2020

Handwritten signature of Frank Petruziello

Handwritten signature of Virginia Deam and date March 12, 2022



VIRGINIA DEAM
Notary Public, State of Ohio
My Commission Expires March 12, 2022

PLEASE NOTE: Incomplete information will result in the rejection of this submittal.
Applications must be submitted by appointment. Call 614-645-4522 to schedule.
Please make all checks payable to the Columbus City Treasurer