

DEVELOPMENT STANDARDSGeneral

Streets within the development will be private. The street alignments shall be developed as shown on this plan, however they are subject to refinement with final engineering and may be adjusted to reflect engineering, topographical or other site data established at the time development and engineering plans are completed. The Director of Development or the Director's designee may approve minor adjustments to the street alignments upon submission of the appropriate data regarding the proposed adjustment.

Condominiums may be used as model homes for the purpose of marketing and sales. A model home, with parking, may be used as a sales office during the development of the project.

This project will include community facilities such as a clubhouse, pool and open space. The clubhouse may also be used as a sales office for the sale of condominiums during the development of the project.

The development will consist of a mix of 40 single family detached condominium units and 56 attached condominium units as shown on the plan.

Single Family Detached Condominiums:

Minimum living area square footage 1500 sq. ft.

50% of the units shall be at least 1700 sq. ft.

All units shall have a minimum of an attached 2 car garage.

Attached Condominiums:

Minimum living area square footage 1230 sq. ft.

50% of the units shall be at least 1380 sq. ft.

15% of the units shall be at least 1500 sq. ft.

All units shall have an attached garage and a minimum of 80% shall be a 2 car garage.

Minimum living area for both detached and attached condominiums means "minimum net floor area for living quarters" under Section 3303.13 of the Columbus Zoning Code, but may also include a finished three-season room.

Additional Parking

In addition to garage parking, all units shall have a minimum of 1 driveway parking space for each garage parking space up to 2 spaces per unit. Guest parking spaces shall be provided throughout the development and there shall be a minimum of 30 spaces. All parking spaces shall be a minimum of 9'x18'.

Building and Parking Setbacks

The building and parking setback line from the east property line shall be 50'. The building and parking setback from the south property line shall be 25'. The minimum building and parking setback line from centerline of Uiry/Lee Road shall be 200'. The minimum building and parking setback line from the center line of Central College Road shall be 200'.

Building Separation

The minimum side yard building separation between single family detached condominium units shall be 10'. The minimum side yard building separation for attached condominium buildings shall be 25'.

Building Setbacks from Internal Streets

The minimum front building setback for single family detached condominium units from the centerline of the street shall be 36', on corner lots the side yard setback shall be 26' from the centerline of the street. The minimum front building setback for attached condominium units shall be 26' from the centerline of the street. The minimum side yard building setback for attached condominiums shall be 21' from the centerline of the street.

Exterior Finishes

The approved exterior building vertical finishes for the single family detached condominiums shall be brick, stone, manufactured stone, stucco, vinyl siding with textured pattern, wood or composite siding. At least 60% of the front elevation shall be an approved exterior finish other than vinyl siding.

The approved exterior building vertical finishes for the attached condominiums shall be brick, stone, manufactured stone or vinyl siding with textured pattern. A minimum of 60% of the building exteriors shall be brick and/or manufactured stone. The roofs for the single family detached and attached condominiums shall be a dimensional asphalt shingle.

Landscaping

There shall be a mound and landscape treatment along Ulry Road in the building setback as indicated on the site plan. Along the east property line there shall be a 3' high mound with plantings of evergreen and deciduous trees between the two groups of existing mature trees. Street tree plantings shall be provided for all internal private streets. There shall be a minimum of one (1) tree per unit. These trees shall be planted in an organized manner throughout the private streets. Minimum tree sizes shall be 2" caliper for deciduous trees and 6' height minimum for conifers. In addition to the street tree plantings, each unit shall be landscaped which shall include a minimum of full landscape beds across the front of each unit and screening of all outdoor HVAC equipment. The mature trees in the building setback along Central College shall be preserved (except for construction of the main entry and utilities). Along the remaining Central College Road frontage a four (4) rail wood fence shall be installed.

Open Space

The site plan provides significant amounts of open space both along the site perimeter and internally. This open space shall provide both active and passive recreational spaces for the residents and the cost of the maintenance and upkeep shall be the responsibility of the condominium association.

The large mature woods in the southeast corner of the property shall be preserved. The preservation of this area shall be provided through a conservation easement granted to the City of Columbus and may be recorded in the public records of Franklin County. The conservation easement shall be subject to review and approval by the City of Columbus Recreation and Parks Department.

Refuse Service

Provided that a dumpster waiver is issued by the City of Columbus, refuse collection shall be by a private refuse service and will be curbside pickup. Each resident's refuse container will be stored inside the resident's garage. If a dumpster waiver is revoked by the City of Columbus or if the condominium association requests refuse service from the City of Columbus, dumpsters will be provided in accordance with applicable City of Columbus Code.

Street Design

The internal streets within the development shall be private inverted crown streets with a minimum total pavement width of 22' (21' pavement and 6" concrete curb on both sides). There shall be no alleys within the development. The intersection details, including turning radius, shall comply with City of Columbus standards for 22' streets as shown on the PUD Plan.

Parking

Parking restrictions shall be controlled by appropriate signage displayed within the development. Enforcement by the Condominium/Homeowner association shall be established by the rules and regulations of the condominium/homeowner association. Signage regulating parking shall be installed consistent with city signage requirements for private streets, and parking requirements shall be enforced through an agreement between the Condominium/Homeowner Association and a private towing company. Such agreement, together with the association's governing documents, shall be filed with the City of Columbus Public Safety Department.

Street Lighting

Street Lighting shall be provided along the private streets. The maximum height of the lighting shall be 15' and the lights shall be a cutoff or down light type.

Driveways

Driveways shall be a minimum of 16' wide and shall have a 10' turning radius at the intersection with a private street. All single family driveway turning radii shall be 5'.

Sidewalks

A 4' wide sidewalk shall be installed on each side of the private streets for the detached condominiums, except for single loaded streets, which shall have a 4' sidewalk on the house side only. A 4' sidewalk shall be installed on one side of the private streets in the attached condominiums.

Public sidewalks shall be installed along the site's frontage on Central College and Ulry Roads as shown on the plan, either in conjunction with the development of the site or road improvement projects undertaken as part of the Northeast Pay as We Grow program.

The internal site pedestrian network shall be connected to the public sidewalk system at the intersection of the entry road and Central College Road, and a connection will also be made in the southwest part of the development, in the general location shown on the plan, to the public sidewalk along Ulry Road.

Pay as We Grow

The site is included in the Pay as We Grow program for the Northeast area of Columbus, is addressed by the February 23, 2006 Memorandum of Understanding (MOU) entered into among the City and various developers, and is and will be subject to the provisions of that MOU.

Circulation

The development consists of internal private streets and pedestrian ways to provide for vehicular and pedestrian circulation for the residents.

It is anticipated that future comparable residential development could occur to the east and/or the south of this development.

Two possible future connections have been identified on the site plan. One or both of these linkages will be made provided the property to the south and/or east include provisions to bring a public or private street to these locations.

The intention of these future potential connections is to provide better access for police, fire and safety services and to improve circulation for the residents of this development. Any future connection shall not cause or require a change in the private streets within the development.

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
JANUARY 8, 2015**

- 4. APPLICATION: Z14-049 (14335-00000-000788)**
Location: **4601 CENTRAL COLLEGE ROAD (43081)**, being 33.37± acres located at the southeast corner of Central College and Ulry Roads (410-276208 plus 17 others; Northland Community Council).
Existing Zoning: PUD-4, Planned Unit Development District.
Request: PUD-4, Planned Unit Development District.
Proposed Use: Single- and multi-unit residential development.
Applicant(s): Asherton Grove LLC; c/o Steven J. Fulkert; 677 Notchbrook Drive; Delaware, OH 43015.
Property Owner(s): The Applicant.
Planner: Eliza Thrush, 645-1341, ecthrush@columbus.gov

BACKGROUND:

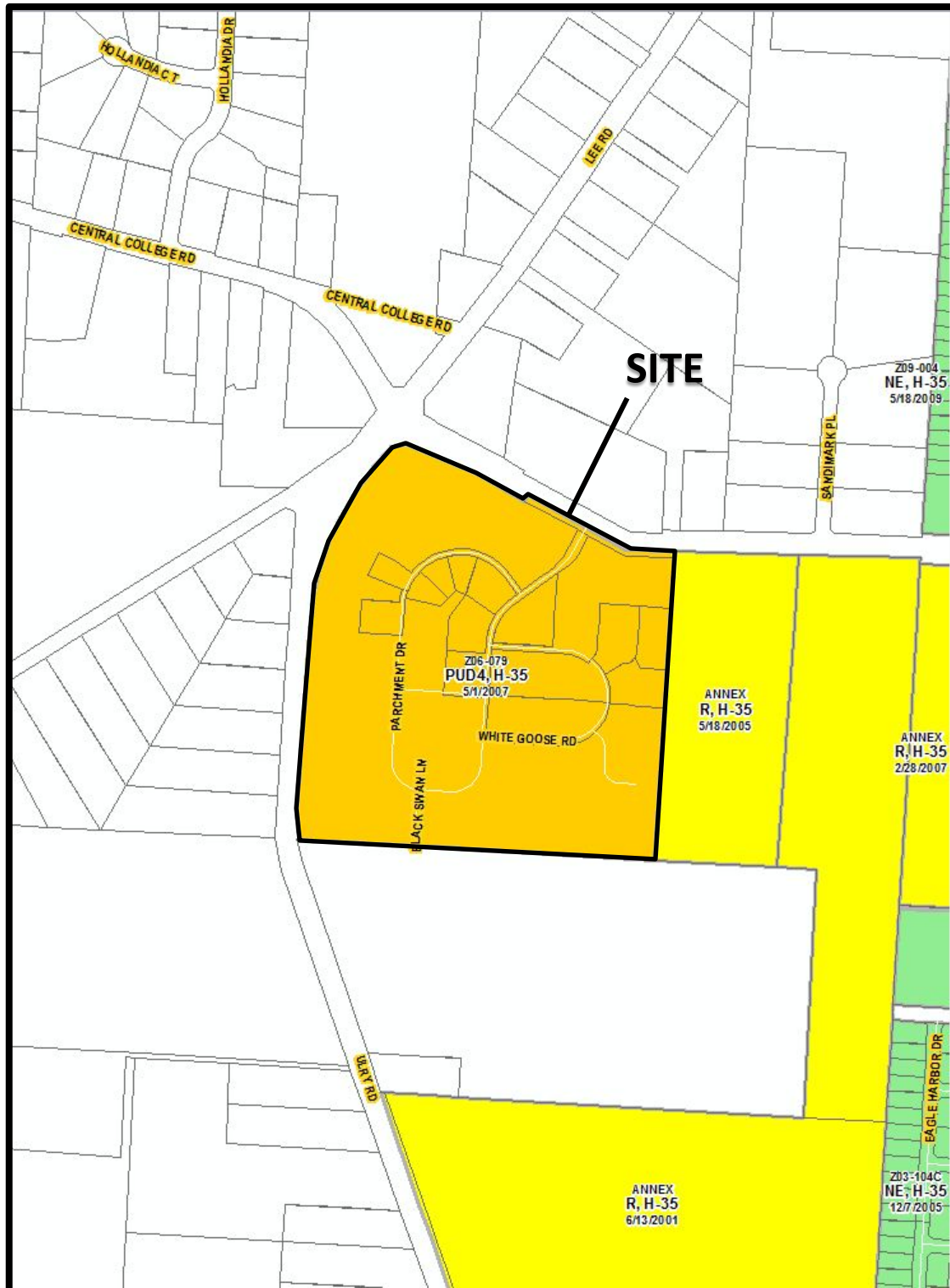
- The 33.37± acre site is partially developed with single-unit and multi-unit dwellings and is zoned in the PUD-4, Planned Unit Development District (Z06-079). The applicant requests the PUD-4, Planned Unit Development District to allow a mix of single-, two- and four-unit dwellings on private streets. The applicant proposes fewer units than what is permitted under the current zoning. Currently, 25 detached units and 76 attached units are permitted and the applicant proposes 40 detached units and 56 attached units. The proposed net density is 2.88 units/acre with 15.9 acres of provided open space, 2.7 fewer acres than the existing zoning (Z06-079). The difference in calculated open space is accounted for by slight alterations to the site plan to accommodate the additional detached single-unit dwellings. The proposed amount of open space still well exceeds the code requirement of 600 square feet of provided open space per unit (1.32 acres for 96 units).
- Single-unit dwellings in Blendon Township are located north and west of the site. A single-unit dwelling in the R, Rural District is east of the site. A farm field in Blendon Township borders the site to the south.
- The site is located within the Little Turtle District of *The Northland Plan Volume II* (2002), which recommends single-unit residential development at a maximum density of three units per acre. Staff supports the alteration of the PUD because the density will be reduced from what is currently permitted.
- The PUD-4 development plan and associated notes provide development standards that address street layout, building setbacks, street trees, sidewalks, parking/towing language, a minimum two-car garage for each dwelling unit, a temporary sales office, and future street connection to adjacent properties.
- As part of the Parkland Dedication Ordinance negotiations of the original zoning, the developer has established a conservation easement for the wooded area located in the

southeast section of the site as identified on the PUD Plan.

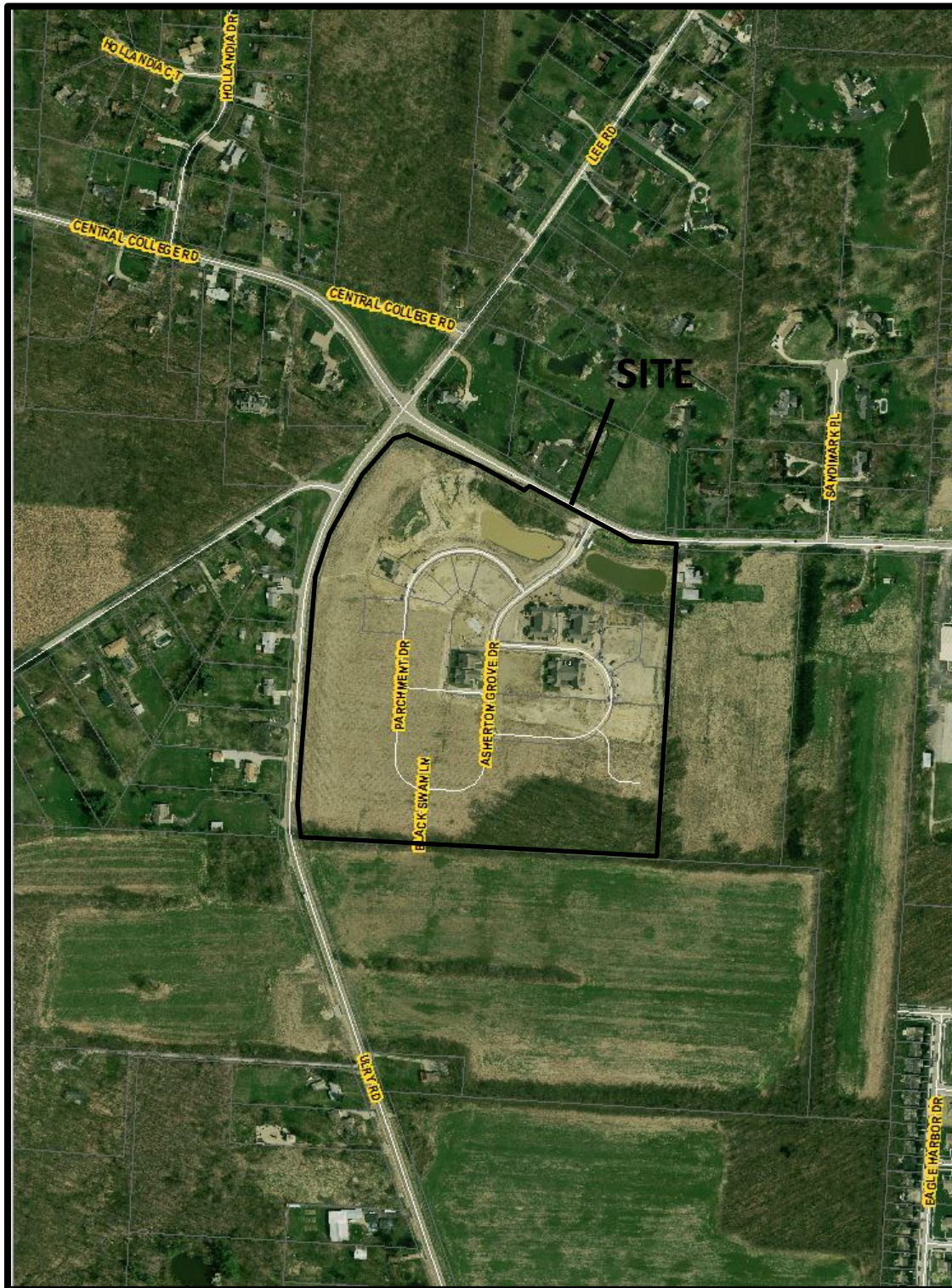
- The site is included within the Pay As We Grow plan for the northeast growth corridor. The developer has committed to paying \$2,300.00 per dwelling unit towards infrastructure costs.
- The *Columbus Thoroughfare Plan* identifies Central College Road as a 4-2 arterial requiring a minimum of 50 feet of right-of-way from centerline. Lee and Ulry Roads are identified as C arterials requiring a minimum of 30 feet of right-of-way from centerline.

CITY DEPARTMENTS' RECOMMENDATION: Approval.

The requested PUD-4, Planned Unit Development District will allow a maximum of 96 detached single-unit and multi-unit dwellings on private streets with a proposed gross density of 2.88 units per acre and 15.9 acres of provided open space, as opposed to the 3.05 units/acre the current PUD-4 district allows. While the amount of proposed open space has decreased from 18.6± acres to 15.9± acres, Staff is supportive of the new proposed site plan because overall density will be reduced, and more single-unit detached homes are planned. City Code requires 1.32 acres of developed open space for 96 units in the PUD-4; this proposal exceeds the code requirement by 14.58 acres. The PUD plan and notes provide customary development standards such as street trees, sidewalks, parking/towing language, and a minimum two-car garage for each dwelling unit. In addition, provisions have been made for possible street connection to adjacent properties, and a conservation easement has been established for the wooded area located in the southeast section of the site. This proposal is more consistent with *The Northland Plan Volume II* recommendation for single-unit residential development at a maximum density of three units per acre, and the zoning and development patterns of the area.



Z14-049
4601 Central College Road
Approximately 33.37 acres
Rezoning from PUD-4 to PUD-4



Z14-049
4601 Central College Road
Approximately 33.37 acres
Rezoning from PUD-4 to PUD-4



Northland Community Council
Development Committee

Report

December 3, 2014 6:30 PM
Franklin County Job and Family Services
(Use south entrance)
1721 Northland Park Avenue (43229)

Meeting Called to Order: **6:40 pm** by chair **Dave Paul**

Members represented:

Voting: (14): Albany Park (APHA), Blendon Chase (BCCA), Cooperwoods (CWCA), Forest Park (FPCA), Karmel-Woodward Park (KWPCA), Maize-Morse Tri-Area (MMTACA), Minerva Park (MP), Northland Alliance (NA), Northland Area Business Association (NABA), Rolling Ridge (RRSHA), Salem (SCA), Sharon Woods (SWCA), Woodstream East (WECA).

Non-voting: NCC president Emmanuel Remy.

Case #1: Application 14320-00686 (*Graphics variance from §3377.17(A) to permit a 3' setback for a permanent ground sign versus 15' per Code*)
Mark Cox/Kessler Sign Company representing
Mohamed Hamdi Omar (Dentist's office)
4533 Cleveland Ave, 43231 (PID 600-146400)

- *The Committee approved (13-0 w/1 abstrn) a motion (by WWCA, second by MP) to recommend **APPROVAL** of the application.*¹

Case #2: Application Z14-049 (*Rezone 33.37± acres zoned PUD-4 to PUD-4, amending site plan to reduce overall density and replace multi-family condos with single-family condos*)
Steve J. Fulkert, Architect representing
Asherton Grove LLC
4601 Central College Rd, 43081 (PID 410-276208)

- *The Committee approved (13-0 w/1 abstrn) a motion (by RRSOA, second by KWPCA) to recommend **APPROVAL** of the application.*

Case #3: Application 14320-00779 (*Graphics variance from §3377.24(B) to permit wall signs on east and south elevations each lacking a public entrance on new construction*)
Dave Warren representing
McDonald's Real Estate Company
2091 E Dublin Granville Rd, 43229 (PID 010-112450)

- *The Committee approved (13-0 w/1 abstrn) a motion (by FPCA, second by MMTACA) to recommend **DISAPPROVAL** of the application.*²

-
- Case #4:** Application CV14-051/14315-00705 (*Council variance under §3307.10 to permit addition of a ~600 SF office addition to rear of building*)
 Ed Spiers/Buckeye Building Solutions Ltd. *representing*
 Maniar Estate LLC/Global Communications Distributors
 (former Acme Hot Dog site)
 4989 Cleveland Ave, 43231 (PID 600-183744)
- *Prior to presentation, it was noted that the applicant's mailing to adjacent property owners did not reflect the correct meeting date. The applicant's representative agreed to present the application as a **LOOK-SEE** and to return for a subsequent meeting. Consequently, the Committee developed **NO RECOMMENDATION** at this time. We appreciated the opportunity to review and to offer suggestions concerning the application.*
-

Executive Session

8:52 pm

Meeting Adjourned

9:25 pm

¹ The Committee recognized the clear existence of hardship in terms of the visibility of a sign placed in compliance with the Code at this location. Upon information from the applicant's representative that City staff had proposed a reduction from the proposed 14'6" overall sign height, the Committee resolved to share its opinion that the height of the sign should not be reduced as doing so would eliminate the value of the reduced setback, and that the proposed height is not excessive given the characteristics of the location.

² The Committee did not agree with the applicant that the applicant's desire to address signage to the private access easement running through and beyond the applicant's property south of the proposed new building represents a hardship requiring variance, and felt that the trade dress of the applicant's new drive-through facilities near the south elevation will be adequate to prevent confusion with any competing business. Though the applicant was willing to reduce the size and number of sign elements, the Committee being unable to identify a hardship felt it would be inappropriate to recommend approval of the variance in any form. From a community standpoint, the Committee did not wish to encourage patrons to increase their use of the private access easement, nor to encourage local businesses to regard the easement as a thoroughfare to which they should direct their signage.

**REZONING APPLICATION**

City of Columbus, Ohio • Department of Building & Zoning Services
 757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION #

214-049

STATE OF OHIO
 COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Steven J. Fulkert

of (COMPLETE ADDRESS) 677 Notchbrook Dr, Delaware OH 43125

deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

Name of business or individual
 Business or individual's address
 Address of corporate headquarters
 City, State, Zip
 Number of Columbus based employees
 Contact name and number

1. M. H. Murphy Development Company 10685 Edgewood Dr Dublin OH 43017 Employees: 12 Michael H. Murphy 614-836-4403 100%	2.
3.	4.

☐ Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT

Steven J. Fulkert

Subscribed to me in my presence and before me this 24th day of October, in the year 2014

SIGNATURE OF NOTARY PUBLIC

Debra A. Clark

My Commission Expires:

10/5/15

This Project Disclosure Statement expires six months after date of notarization.

DEBRA A. CLARK
 NOTARY PUBLIC
 STATE OF OHIO
 Recorded in
 Perry County

My Comm Exp. 10/5/15

PLEASE NOTE: incomplete information will result in the rejection of this submittal.

For all questions regarding this form and fees please call: 614-645-4522

Please make all checks payable to the Columbus City Treasurer

