

DEVELOPMENT STANDARDS

General

Streets within the development will be private. The street alignments shall be developed as shown on this plan, however they are subject to refinement with final engineering and may be adjusted to reflect engineering, topographical or other site data established at the time development and engineering plans are completed. The Director of Development or the Director's designee may approve minor adjustments to the street alignments upon submission of the appropriate data regarding the proposed adjustment.

Condominiums may be used as model homes for the purpose of marketing and sales. A manufactured modular building or a model home, with parking, may be used as a sales office during the development of the project.

This project will include community facilities such as a clubhouse and open space. The clubhouse may also be used as a sales office for the sale of condominiums during the development of the project.

The development will consist of a mix of 25 single family detached condominium units and 76 attached condominium units as shown on the plan.

Single Family Detached Condominiums:

Minimum living area square footage 1500 sq. ft.

50% of the units shall be at least 1700 sq. ft.

All units shall have a minimum of an attached 2 car garage.

Attached Condominiums:

Minimum living area square footage 1230 sq. ft.

50% of the units shall be at least 1380 sq. ft.

15% of the units shall be at least 1500 sq. ft.

All units shall have an attached garage and a minimum of 80% shall be a 2 car garage.

Minimum living area for both detached and attached condominiums means "minimum net floor area for living quarters" under Section 3303.13 of the Columbus Zoning Code, but may also include a finished three-season room.

Additional Parking

In addition to garage parking, all units shall have a minimum of 1 driveway parking space for each garage parking space. Guest parking spaces shall be provided throughout the development and there shall be a minimum of 30 spaces. All parking spaces shall be a minimum of 9'x18'.

Building and Parking Setbacks

The building and parking setback line from the east and south property lines shall be 50'. The minimum building and parking setback line from centerline of Ulry/Lee Road shall be 200'. The minimum building and parking setback line from the center line of Central College Road shall be 200'.

Building Separation

The minimum side yard building separation between single family detached condominium units shall be 10'. The minimum side yard building separation for attached condominium buildings shall be 25'.

Building Setbacks from Internal Streets

The minimum front building setback for single family detached condominium units from the centerline of the street shall be 36'. The minimum front building setback for attached condominium units shall be 26' from the centerline of the street. The minimum side yard building setback for attached condominiums shall be 21' from the centerline of the street.

Exterior Finishes

The approved exterior building vertical finishes for the single family detached condominiums shall be brick, stone, manufactured stone, stucco, vinyl siding with textured pattern, wood or composite siding. At least 60% of the front elevation shall be an approved exterior finish other than vinyl siding.

The approved exterior building vertical finishes for the attached condominiums shall be brick, stone, manufactured stone or vinyl siding with textured pattern. A minimum of 80% of the building exteriors shall be brick and/or manufactured stone. The roofs for the single family detached and attached condominiums shall be a dimensional look asphalt shingle.

Landscaping

There shall be a mound and landscape treatment along Ulry Road in the building setback as indicated on the site plan. Along the east property line there shall be a 3' high mound with plantings of evergreen and deciduous trees between the two groups of existing mature trees. Street tree plantings shall be provided for all internal private streets. There shall be a minimum of one (1) tree per unit. These trees shall be planted in an organized manner throughout the private streets. Minimum tree sizes shall be 2" caliper for deciduous trees and 6' height minimum for conifers. In addition to the street tree plantings, each unit shall be landscaped which shall include a minimum of full landscape beds across the front of each unit and screening of all outdoor HVAC equipment. The mature trees in the building setback along Central College shall be preserved (except for construction of the main entry and utilities). Along the remaining Central College Road frontage a four (4) rail wood fence shall be installed.

Open Space

The site plan provides significant amounts of open space both along the site perimeter and internally. This open space shall provide both active and passive recreational spaces for the residents and the cost of the maintenance and upkeep shall be the responsibility of the condominium association.

The large mature woods in the southeast corner of the property shall be preserved. The preservation of this area shall be provided through a conservation easement which shall be recorded in the public records of Franklin County. The conservation easement shall be subject to review and approval by the City of Columbus Recreation and Parks Department.

Refuse Service

Provided that a dumpster waiver is issued by the City of Columbus, refuse collection shall be by a private refuse service and will be curbside pickup. Each resident's refuse container will be stored inside the resident's garage. If a dumpster waiver is revoked by the City of Columbus or if the condominium association requests refuse service from the City of Columbus, dumpsters will be provided in accordance with applicable City of Columbus Code.

Street Design

The internal streets within the development shall be private inverted crown streets with a minimum total pavement width of 22' (21' pavement and 6" concrete curb on both sides). There shall be no alleys within the development. The intersection details, including turning radius, shall comply with City of Columbus standards for 22' streets as shown on the PUD Plan.

Parking

Parking restrictions shall be controlled by appropriate signage displayed within the development and shall include that parking shall be limited to one side of the street and limited as shown in the intersection detail on the attached sheet. Fire hydrants shall be located on the side of the street where no parking is permitted. Enforcement by the Condominium/Homeowner association shall be established by the rules and regulations of the condominium/homeowner association. Signage regulating parking shall be installed consistent with city signage requirements for private streets, and parking requirements shall be enforced through an agreement between the Condominium/Homeowner Association and a private towing company. Such agreement, together with the association's governing documents, shall be filed with the City of Columbus Public Safety Department.

Street Lighting

Street Lighting shall be provided along the private streets. The maximum height of the lighting shall be 15' and the lights shall be a cutoff or down light type.

Driveways

Driveways shall be a minimum of 16' wide and shall have a 10' turning radius at the intersection with a private street. All other driveway turning radii shall be 5'.

Sidewalks

A 4' wide sidewalk shall be installed on each side of the private streets for the detached condominiums, except for single loaded streets, which shall have a 4' sidewalk on the house side only. A 4' sidewalk shall be installed on one side of the private streets in the attached condominiums .

Public sidewalks shall be installed along the site's frontage on Central College and Ulry Roads as shown on the plan, either in conjunction with the development of the site or road improvement projects undertaken as part of the Northeast Pay as We Grow program.

The internal site pedestrian network shall be connected to the public sidewalk system at the intersection of the entry road and Central College Road, and a connection will also be made in the southwest part of the development, in the general location shown on the plan, to the public sidewalk along Ulry Road.

Pay as We Grow

The site is included in the Pay as We Grow program for the Northeast area of Columbus, is addressed by the February 23, 2006 Memorandum of Understanding (MOU) entered into among the City and various developers, and is and will be subject to the provisions of that MOU.

Circulation

The development consists of internal private streets and pedestrian ways to provide for vehicular and pedestrian circulation for the residents.

It is anticipated that future comparable residential development could occur to the east and/or the south of this development.

Two possible future connections have been identified on the site plan. One or both of these linkages will be made provided the property to the south and/or east include provisions to bring a public or private street to these locations.

The intention of these future potential connections is to provide better access for police, fire and safety services and to improve circulation for the residents of this development. Any future connection shall not cause or require a change in the private streets within the development.

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
JANUARY 11, 2007**

1. **APPLICATION:** **Z06-079**
Location: **4601 CENTRAL COLLEGE ROAD (43081)**, being 33.37± acres located at the southeast corner of Central College and Lee Roads. (111-276208).
Existing Zoning: PUD-4, Planned Unit Development District.
Request: PUD-4, Planned Unit Development District.
Proposed Use: Single-family and multi-family residential development.
Applicant(s): Dominion Homes, Inc.; c/o Robert Meyer, Jr., Atty.; Porter, Wright, Morris & Arthur LLP; 41 South High Street; Columbus, OH 43215.
Property Owner(s): George P. Benua; 4067 Central College Road; Westerville, OH 43081.
Planner: Shannon Pine, 645-2208, spine@columbus.gov

BACKGROUND:

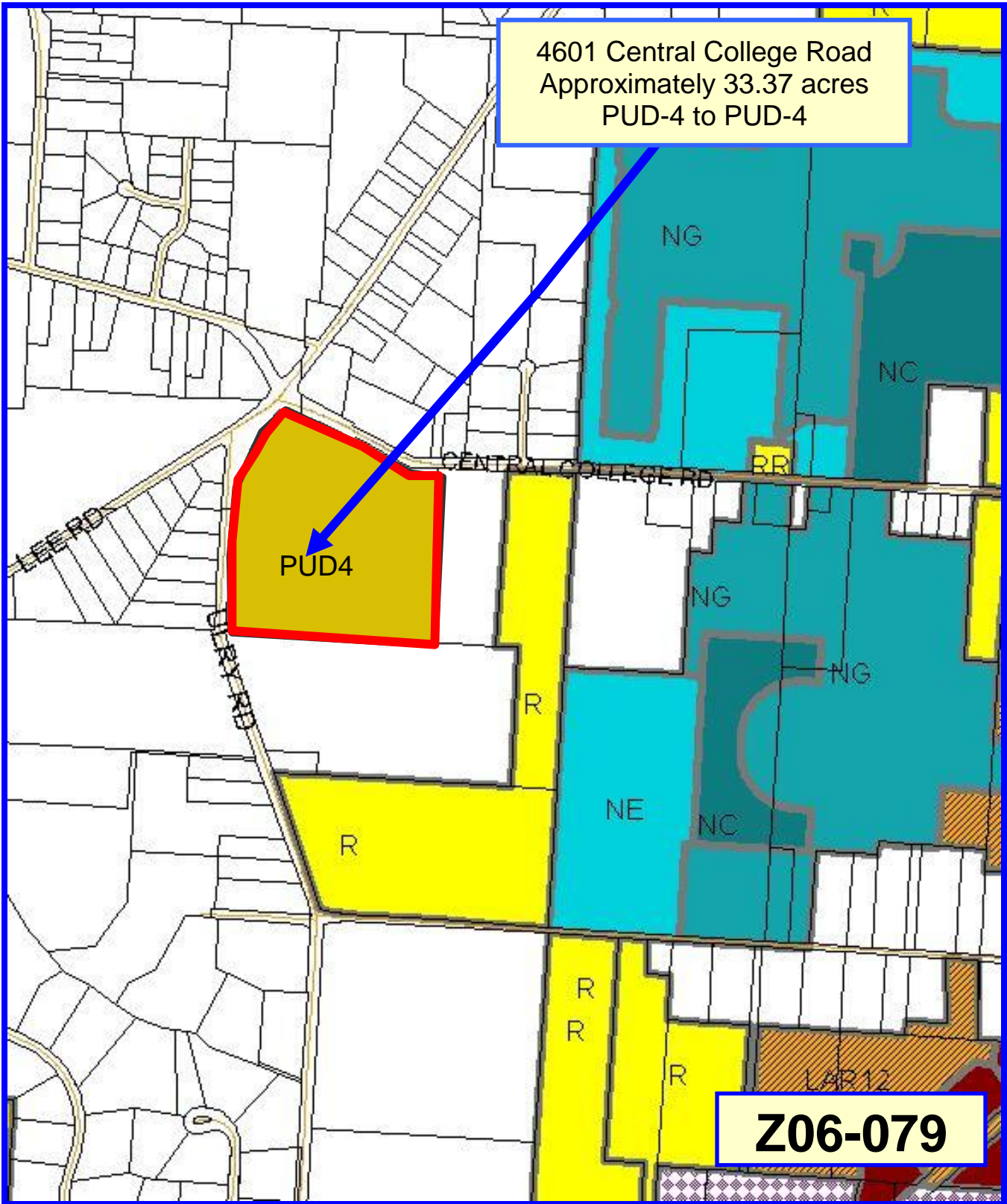
- The 33.37± acre site is undeveloped and was rezoned to the PUD-4, Planned Unit Development District in September of 2006 for single-family residential development (Z05-052). The applicant requests the PUD-4, Planned Unit Development District to allow a mix of single, two and four-family dwellings on private streets. The same number of units (101) is requested with this application, with 25 detached units, and 76 attached units. The proposed net density is 3.05 units/acre with 18.6 acres of provided open space, an increase of over six acres from the current PUD-4 District.
- Single-family dwellings in Blendon Township are located north and west of the site. A single-family dwelling in the R, Rural District is east of the site. A farm field in Blendon Township borders the site to the south.
- The site is located within the Little Turtle District of *The Northland Plan Volume II* (2002), which recommends single-family residential development at a maximum density of three units per acre. Planning Division has determined that a deviation to allow multi-family residential units within the development is acceptable with the following conditions:
 - A commitment that at least 25 of the proposed maximum 101 units must be single-family.
 - Sidewalks are to be installed along Ulry and Central College roads.
 - A provision for a pedestrian sidewalk connection to the Ulry Road sidewalk at the southwest corner of the site.
 - Allowance of future private cross-access points to the east and south.
- The PUD-4 development plan and associated notes provide development standards that address street layout, building setbacks, street trees, sidewalks, parking/towing language, a minimum two-car garage for each dwelling unit, a temporary sales office, and future street connection to adjacent properties. The conditions requested by Staff have been included within the PUD plan and notes.
- As part of the Parkland Dedication Ordinance negotiations, the developer will establish a conservation easement for the wooded area located in the southeast section of the site

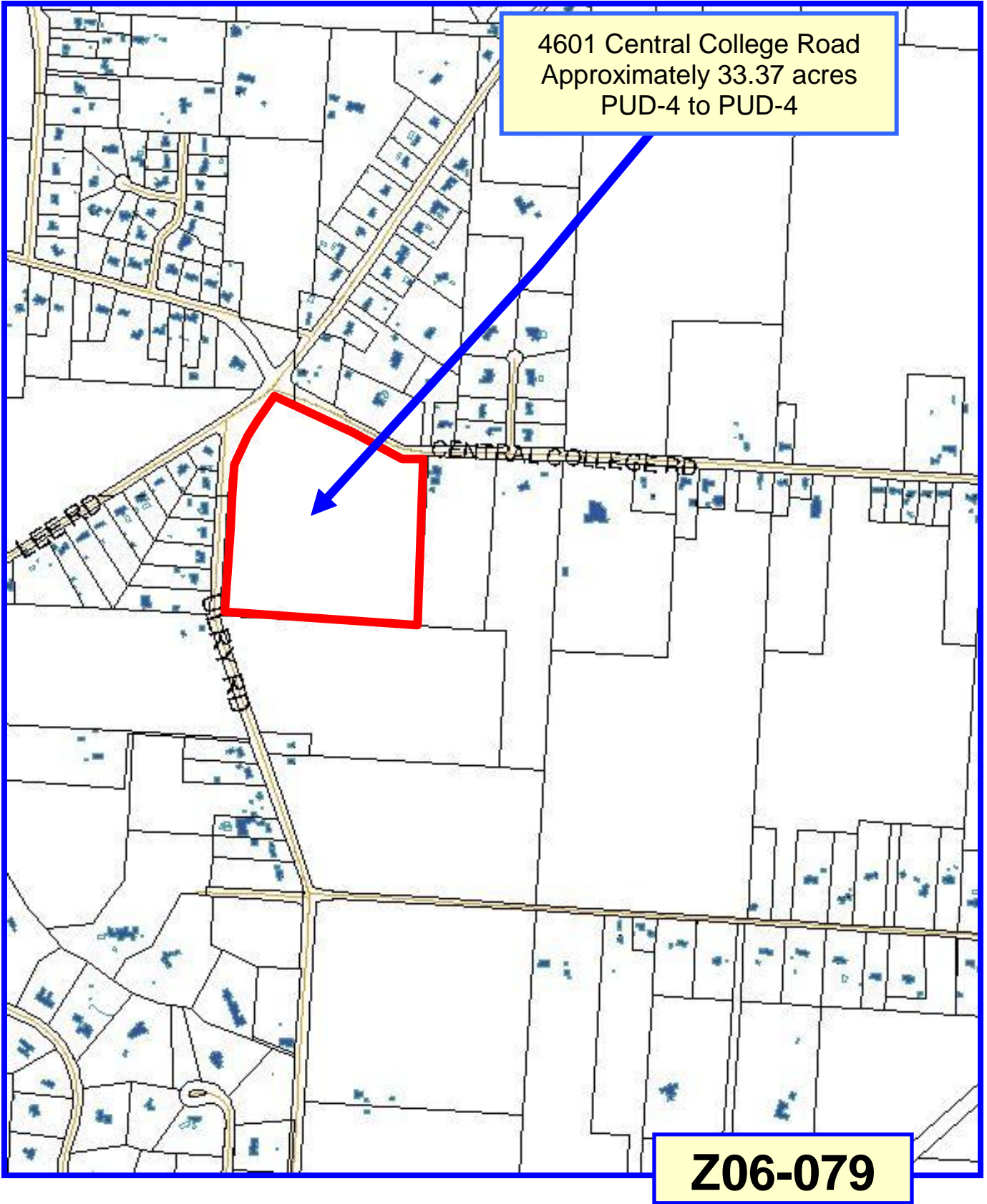
as identified on the PUD Plan.

- The site is included within the Pay As We Grow plan for the northeast growth corridor. The developer has committed to paying \$2,300.00 per dwelling unit towards infrastructure costs.
- The *Columbus Thoroughfare Plan* identifies Central College Road as a 4-2 arterial requiring a minimum of 50 feet of right-of-way from centerline. Lee and Ulry Roads are identified as C arterials requiring a minimum of 30 feet of right-of-way from centerline.

CITY DEPARTMENTS' RECOMMENDATION: Approval.

The requested PUD-4, Planned Unit Development District will allow a maximum of 101 detached single-family and multi-family dwellings on private streets with a proposed gross density of 3.05 units per acre and 18.6 acres of provided open space. The PUD plan and notes provide customary development standards such as street trees, sidewalks, parking/towing language, and a minimum two-car garage for each dwelling unit. In addition, provisions have been made for possible street connection to adjacent properties, and a conservation easement will be established for the wooded area located in the southeast section of the site. The proposal is consistent with the recommendation of *The Northland Plan Volume II* (2002), and the zoning and development patterns of the area.





Proposed Land-use/Little Turtle District

Little Turtle District

This district is north of SR-161 and encompasses the majority of unincorporated land found in the planning area. Predominant land-uses include the Little Turtle Subdivision, which is zoned PC, Planned Community, and has condominium and single-family residential units with a private golf course. There is a city of Columbus police substation and fire facility located in this district. Unincorporated parcels include estate residential lots, parcels used for agriculture, and un-platted residential lots in Blendon Township. The city of Westerville is located to the north and west, and Plain Township is located to the immediate east. Land-use recommendations for parcels to the east that are in the city of Columbus are provided in *The Rocky Fork-Blacklick Accord*.



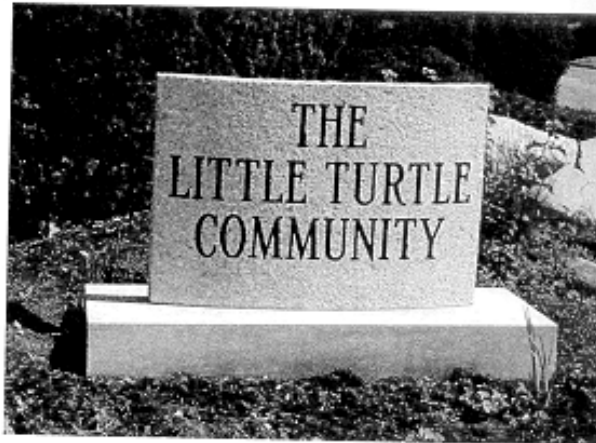
Little Turtle District

Site

Z06-079

It is the recommendation of Northland Plan – Volume II that:

- ★ ➤ *Single-family residential at three units/acre maximum (low-density cluster or conservation-type subdivisions) is the preferred land-use for this district, should development or redevelopment occur. A key principle of this concept is that open space and natural areas should be used as organizational elements in any development proposal for this area.*
- *A limited neighborhood civic center for the area be located near the Ulry and Warner Road intersections. The intersection of Ulry and Warner roads provide an ideal opportunity to incorporate a small, neighborhood-based civic-type center that could benefit the Warner/Ulry/Central College Road region. This area is a transition area from the large unincorporated lots in Blendon Township, to the area east designated as village center in the Rocky Blacklick Accord. The region will experience an increase in residential uses as well as the future extension of Hamilton Road to the east. There are single-family, multi-family and condominium units to the west and south, and growth occurring in the Rocky Fork-Blacklick Accord area to the east and northeast. Civic uses for this area might include a post office, parks and/or public recreational uses, schools, or means to further address the needs of public safety as the area grows. The city should consider this area for a future recreational facility to service the growing population.*
- *The large wooded lots identified on the existing land-use map (page 54) be afforded some level of protection from future development. Immediately north of the Little Turtle subdivision, and south of Central College Road are heavily wooded parcels with rolling terrain, a natural amenity for the community. Future development should be sensitive to the natural features of these areas and ensure that impact on the wooded sites is minimal. Consideration should be given to providing permanent protection to existing woodlots in the area through public acquisition, conservation easements or other means.*
- *There are a number of large residential parcels in the planning area to the north of Little Turtle. Should an alternative development pattern be sought for this area, this plan recommends that single-family residential remain the primary land-use with consideration given to surrounding rural setting and land-uses.*
- *Land-use recommendations and standards of the Rocky Fork-Blacklick Accord (RFBA), adopted by Columbus City Council in 1997 as a planning guide for development in northeast Franklin County, be considered when reviewing rezoning applications contiguous to the RFBA, to ensure compatibility of planning efforts.*



**NORTHLAND
COMMUNITY
COUNCIL
DEVELOPMENT COMMITTEE**

Fax

To: Robert Meyer	From: Jeff Murray
Fax:	Pages: 1
Phone: Z06-079	Date: 11/30/06
Re: 4601 Central College	Email: rmeyer@porterwright.com

Dear Rob

Our committee voted to support this application with one change; add street lights to all streets.

If you have any questions please contact me at:

Work, 614-882-8558, ext. 207

Fax, 614-818-4399

Email, jeffmurray@wideopenwest.com.

Best regards,

Jeff S. Murray
Chairperson, Development Committee
Northland Community Council

City of Columbus | Department of Development | Building Services Division | 757 Carolyn Avenue, Columbus, Ohio 43224



PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.
THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

STATE OF OHIO
COUNTY OF FRANKLIN

APPLICATION # Z06-079

Being first duly cautioned and sworn (NAME) Robert A. Meyer, Jr.
of (COMPLETE ADDRESS) 41 S. High Street, Columbus, Ohio 43215
deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

- Name of business or individual
- Business or individual's address
- Address of corporate headquarters
- City, State, Zip
- Number of Columbus based employees
- Contact name and number

1. Michael H. Murphy, President M.H. Murphy Development Company 4393 Arbor Lake Drive Groveport, Ohio 43125 100% ownership by Michael H. Murphy 7 employees	2. Dominion Homes, Inc 5000 Tuttle Crossing Blvd. Dublin, Ohio 43016
3. George Benua 4067 Central College Rd Westerville, Ohio 43081	4.

Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT

Robert A. Meyer, Jr.

Subscribed to me in my presence and before me this 30th day of October, in the year 2006

SIGNATURE OF NOTARY PUBLIC

Mary A. Rossi

My Commission Expires:

This Project Disclosure Statement expires six months after state of notification.

Notary Seal Here



MARY A. ROSSI
Notary Public, State of Ohio
My Commission Expires 11-05-07