

Columbus Housing Community Reinvestment Area (CHCRA): Housing Survey

Between August and October 2023, a surveillance survey was conducted in the area to be known as the Columbus Housing Community Reinvestment Area (CHCRA). The purpose of the survey was to determine the location of housing units that appeared to be in need of repair or upgrading, vacant lots in need of redevelopment and the severity of structures that appeared to be in need of repair, and/or needing to be removed.

The area contains a mix of residential and commercial zoning. Photos are representative of property conditions within the proposed CHCRA area. All parcels are within the City of Columbus.

The results of these surveys are as follows:

26 Schultz Ave - 22EVH060576 - 9/21/23

Inspection completed 9/15/23. No progress observed since the previous inspection.

Company: Code Enforcement

Contact: CEO Fallon Geer

Created: 09/15/2023

(3)



Vacant structure not boarded to code. Soffits detaching, damaged and/or otherwise in a state of disrepair. Bare, exposed wood surfaces.

(6)



Fence in disrepair.

171 S Warren Ave / 2021EVH060588 / 10.19.23

There has been no progress made since the previous inspection. The grass and weeds are overgrown and the water service shows that it's off. The property appears to be vacant.

Company: Code Enforcement

Contact: CEO Joseph Giammarino

Created: Tue, 10/17/2023

(3)



171 S Warren Ave / 2021EVH060588 / 10.19.23

Created: Tue, 10/17/2023

- Mortar voids and damaged bricks in the chimney.
- Damaged exterior wall.
- Rank growth on the structure.

(6)



171 S Warren Ave / 2021EVH060588 / 10.19.23

Created: Tue, 10/17/2023

- High grass and weeds.
- Solid waste.
- Damaged garage door on the accessory structure.
- Bare and exposed wood surfaces on the accessory structure.

- 65 N Hamilton Ave, Columbus, OH 43203

Photo(s) taken on 10/2/23 at 9:40a by CEO Zach McCandlish



- Vacant structure is not boarded/secured to code
- Fire damaged porch/1st floor
- Structure exhibits rotted and damaged wood on the soffit
- Mortar voids in the block and brick
- Damaged/broken windows
- Bare wood on the window coverings, window trim, and porch supports
- Rain carriers are missing from the first floor and downspouts are disconnected on the north side.

- 65 N Hamilton Ave, Columbus, OH 43203

Photo(s) taken on 10/2/23 at 9:40a by CEO Zach McCandlish



- Missing brick and mortar voids
- Damaged/missing window
- Areas of bare and exposed wood on the trim and windows
- Structure is not boarded to code

213 E Tompkins St - 2023 EVH 060576 - 10-17-23

There appears to have been little to no progress since the last inspection.

Agency: Code Enforcement

Inspector: CEOS Mike Mercer

Inspection date: 10/16/2023



Soffit, fascia, and wood siding contain areas of exposed wood throughout. Front lamp post in disrepair. High grass and weeds.



Front concrete service steps and walkway in disrepair and deteriorating.

287 E Barthman Ave - 2023

EVH 060327 - 9-22-23

Inspected 9/18/23

New roof installed. Some exterior storage items removed. The two accessory structures in the back yard have been removed. Violations remain. No permit for roof found, referred to Building.

Company: Code Enforcement

Contact: CEO Mike Reed

Created: 09/18/2023

(7)



Damaged rain carrier. Missing downspouts.

(8)



Damaged and missing siding. Missing soffit sections. Bare, exposed wood. Improper exterior storage.

327-329 Linwood Ave

2019EVH060664 Hearing Date

10/19/2023

New siding, windows, and box gutters/fascia/soffit materials installed (no active permits- See SRTN2300973 re: expired permits)

Address numbers installed

Some mortar work done

Company: Code Enforcement

Contact: CEO Bill Williams

Created: 10/13/2023

(1)



- Vacant structure is not boarded to code
- Bare and/or rotting wood surfaces throughout the exterior
- Damaged masonry at front porch decking/foundation and throughout exterior walls
- Damaged window screens
- Front steps missing handrail
- Missing raincarriers

(5)



Missing threshold components with gapping under front entry door

336-338 N Garfield Ave - 2020 EVH 060408 - 9-21-23

Inspected 9/18/23

No progress towards compliance observed. Property remains in violation.

Company: Code Enforcement

Contact: CEO Mike Reed

Created: 09/18/2023



387 Hanton Way - 2023 EVH 060552 - 10-17-2023

CEOS Schmitter conducted a court inspection on October 13, 2023, and observed the property remains in violation. There has been no progress observed.

Contact: CEOS Aric Schmitter

Created: Tue, 10/10/2023

(1)



Vacant structure not boarded and secured to code. Severe fire damage throughout the structure including roofing, siding, soffit, fascia, trim boards, rain carriers, and broken windows. Boards covering the openings not painted. Address not clearly posted. Solid waste including debris created by the fire.

(2)



Vacant structure not boarded and secured to code. Severe fire damage throughout the structure including roofing, siding, soffit, fascia, trim boards, rain carriers, and broken windows. Boards covering the openings not painted. Address not clearly posted. Solid waste including debris created by the fire.

510 S Ohio Ave / 2023EVH060171 / 8.4.23

Some progress has been made since the previous inspection. Porch railing and balusters were repaired. Handrails added to the stairs. The property remains in violation.

Company: Code Enforcement

Contact: CEO Joseph Giammarino

Created: Tue, 8/1/2023

(7)



510 S Ohio Ave / 2023EVH060171 / 8.4.23

Created: Tue, 8/1/2023

- Bare and exposed wood surfaces throughout the exterior of the accessory structure.
- Damaged and/or missing siding.
- Raincarrier needs maintenance.
- Missing downspout.

(2)



510 S Ohio Ave / 2023EVH060171 / 8.4.23

Created: Tue, 8/1/2023

520 Cline St 2022EVH060396

8/4/23

CEO Shaffer observed no work completed since previous inspection.

Company: Code Enforcement

Contact: CEO Jomar Shaffer

Created: 08/03/2023

(1)



Violations shown above:

- porch overhang is damaged and in disrepair
- porch steps missing handrail



Violations shown above:

- accessory structure is missing rain carrier system
- accessory structure has bare and exposed wood surfaces
- graffiti
- high grass, weeds, ranked growth
- sections of concrete is damaged

580 S Napoleon Ave - 2023

EVH 060381 - 10-20-2023

CEOS Schmitter conducted a court inspection on October 13, 2023, and observed the property remains in violation. No progress observed since the last inspection. Unable to confirm whether vehicle is operable from the right-of-way. Water service was off as of October 13, 2023.

Contact: CEOS Aric Schmitter

Created: Tue, 10/10/2023

(1)



Exposed bare wood present on multiple areas of the main and accessory structures. Damaged asphalt in the driveway.



Missing and/or damaged sections of fascia and soffit on the north facing side of the main structure.

792-794 Broadleigh Rd - 2021 EVH 060129 - 9-19-23

Inspection date: 9/13/23

There appears to have been little to no progress since the last inspection.

Company: Code Enforcement

Contact: CEOS Mike Mercer

Created: 09/14/2023



Sections of siding missing on front and south side of structure, as well as the sides of the dormers. Areas of exposed wood where siding is missing, on fascia boards, and around window trim. Rain carriers missing sections.



Roofing materials in disrepair. Loose materials stored on roof, and ladder stored on the exterior against the structure.

1152 Duxberry Ave / 2022EVH060151 / 9.22.23

There have been no improvements made since the previous inspection. At the time of inspection the property was unsecure. CEO Giammarino issued an emergency secure notice to the owner (23451-01735) on 9/20/23.

Company: Code Enforcement

Contact: CEO Joseph Giammarino

Created: Mon, 9/18/2023

(2)



1152 Duxberry Ave / 2022EVH060151 / 9.22.23
Created: Tue, 9/19/2023

- Vacant structure is not boarded to code standards.
- Bare and exposed wood surfaces throughout the structure.
- The roof has damaged materials and holes throughout it.
- Solid waste.
- The structure is missing raincarriers.
- The structure is not weathertight, water-tight, or rodent proof.



- Vacant structure is not boarded to code standards.
- High grass and weeds. Rank growth.
- Prohibited exterior storage.
- Bare and exposed wood surfaces throughout the structure.
- The roof has damaged materials and holes throughout it.
- Solid waste.
- The structure is missing raincarriers.
- The structure is not weathertight, water-tight, or rodent proof.

1190-1192 E Livingston Ave
2023EVH060196 8/4/23

CEO Shaffer observed no work completed since previous inspection.

Company: Code Enforcement

Contact: CEO Jomar Shaffer

Created: 08/03/2023

(7)



Violations shown above:

- bare, exposed and/or damaged wood surfaces present throughout exterior
- damaged/missing sections of soffits
- damaged and/or missing sections of fascia/trim
- missing sections of rain carrier system
- canopy over rear porch steps are in disrepair

(8)



- bare, exposed and/or damaged wood surfaces present throughout exterior
- damaged/missing sections of soffits
- damaged and/or missing sections of fascia/trim
- missing sections of rain carrier system
- cracks and deteriorating concrete/masonry materials present in exterior stairs and porch floor

9/18/2023 11:00AM

1199 Franklin Ave, Cols, OH 43205

Inspected by: CEO Amanda Snider



- Violations shown above: Not boarded to Code, bare and exposed wood, broken window, mortar voids throughout, graffiti.

9/18/2023 11:00AM

1199 Franklin Ave, Cols, OH 43205

Inspected by: CEO Amanda Snider



- Violations shown above: Not boarded to Code, bare and exposed wood, broken window, mortar voids throughout, roof covered by tarps.

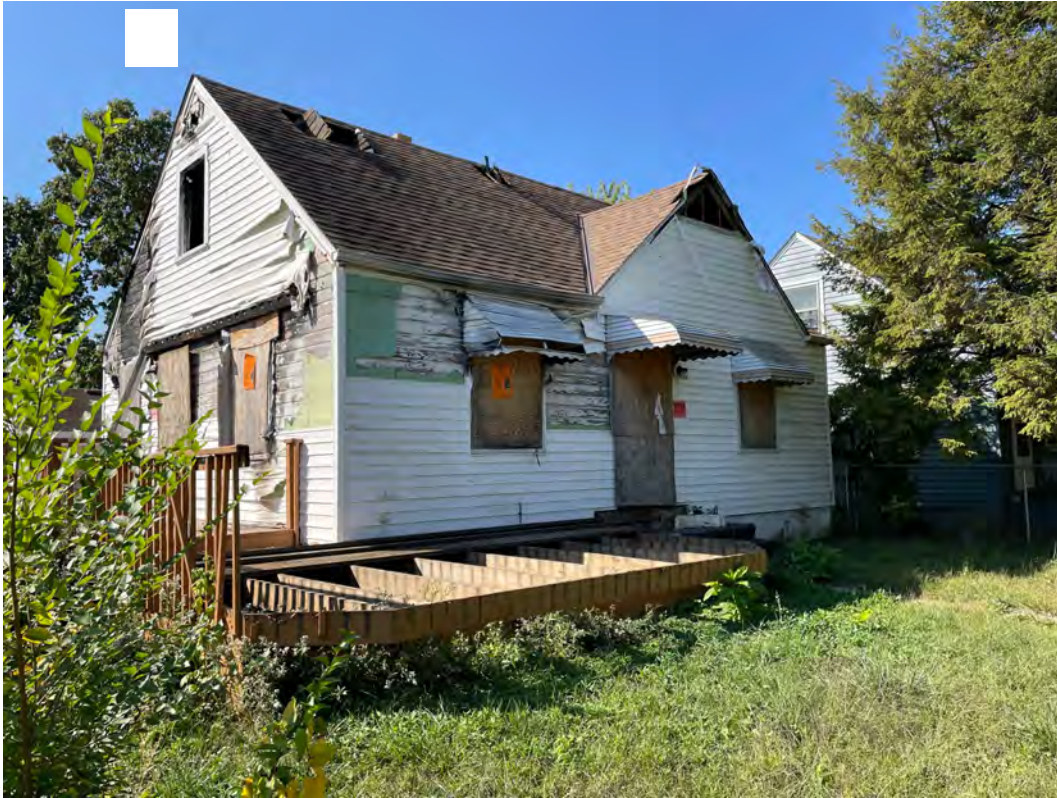
1247 E 24th Ave / 2022EVH060237 / 10.6.23

There have been no improvements made to the property since the previous inspection.

Company: Code Enforcement

Contact: CEO Joseph Giammarino

Created: Mon, 10/2/2023



- Vacant structure is not boarded to code standards.
- Bare and exposed wood surfaces.
- Missing handrail.
- Damaged/missing siding and trim.
- Missing porch decking.
- The structure is not weathertight, water-tight, or rodent proof. There are holes in the ceiling and other multiple openings throughout the exterior of the structure.



- Vacant structure is not boarded to code standards.
- Missing downspout.
- Bare and exposed wood surfaces.
- Damaged/missing siding and trim.
- Solid waste.
- The structure is not weathertight, water-tight, or rodent proof. There are multiple openings throughout the exterior of the structure.
- Rank growth.



- Vacant structure is not boarded to code standards.
- Solid waste.
- Rank growth.

1284 Parsons Ave
2023EVH060120 Hearing Date
10/17/2023

No work observed

Company: Code Enforcement

Contact: CEO Bill Williams

Created: 10/10/2023

(7)



Bare and/or rotting wood surfaces on the front porch ceiling, fascia, soffits, and/or trim



- Vacant structure is not boarded to code
- Bare and/or rotting wood surfaces throughout the exterior
- Damaged/missing raincarrier components
- Mortar voids/holes in exterior walls and foundation
- Rear steps missing handrail

1392 Genessee Ave

2010EVH060348 Hearing Date

9/19/2023

Property is occupied
several vehicles were removed from the property at the time of inspection

Company: Code Enforcement

Contact: CEO Bill Williams

Created: 09/13/2023

(5)



- Bare/rotting wood surfaces throughout the exterior
- Accessory structure walls cracked, damaged, and/or otherwise in a state of disrepair
- Accessory structure roofing materials are damaged, missing, has holes, and/or is otherwise in a severe state of disrepair
- Motor vehicle parked on an unimproved surface
- Improper exterior storage of miscellaneous items



- Bare wood surfaces throughout the exterior
- Missing raincarriers

1506 Grovewood Dr - 2023

EVH 060436 - 9-22-23

There appears to have been little to no progress since the last inspection.

Agency: Code Enforcement

Inspector: CEOS Mike Mercer

Inspection date: 09/20/2023

(1)



Roofing materials in disrepair. Rain carriers in disrepair and/or missing sections. Sections of siding in disrepair and/or missing. Siding and fascia boards contain areas of exposed wood. Asphalt driveway deteriorating and becoming overgrown. Prohibited exterior storage of building materials. Some high grass and weeds.

(2)



Rain carriers in disrepair and missing sections in the rear of structure, and missing downspout on corner. Sections of soffit in disrepair. Fascia boards contain areas of exposed wood. Some high grass and weeds.

1513 Maynard Ave- 2021evh060170

Hearing 10-20-23

Inspected on 10-17-23

Owner: V&M Properties of Columbus LLC

Property zoned R3

No progress since last inspection.

Contact: Matthew Mercer

Created: Tue, 10/17/2023

(1)



Front Of Property

Created: Tue, 10/17/2023

This vacant structure is not boarded to code; not all doors, Windows, and openings are boarded entirely from the outside, and not all boards are painted.
Driveway surface is broken, crumbling, and in disrepair.
Parking/storage of inoperable vehicle on this residential property (lack of current and displayed license/registration).



Rear Of House

Created: Tue, 10/17/2023

Vacant structure, not boarded to code.
Weeds in excess of 12 inches in height present on premises.
Damage to rear deck and steps.
Bare and exposed woods on exterior of structure including at trim and fascia.

1537 Chauncy Rd.-2021

EVH060565-10/06/23

There is a new owner as of 8/22/23 Dustin Hoffman Sheasby and Terri M. Maynard. CEO Smith talked to tenant on site who said he was fixing things up. CEO then found there is currently a UNSF2300248 and a SRTN23000957 for working without permits after the new owner took over.

Company: Code Enforcement

Contact: CEO Bobby Smith

Created: 10/03/2023

(1)

Vacant structure not boarded to City Code standards.
Bare exposed wood throughout.
Address not posted to code.
Missing handrail.
Detached support pillars.
Missing and or damaged shingles throughout.
Trash, debris and solid waste.
Trailer.
Prohibited exterior storage of building/construction materials.



Vacant structure not boarded to City Code standards.
Bare exposed wood throughout.
Missing and or damaged shingles throughout.
Trash, debris and solid waste.
Prohibited exterior storage of building/construction materials.

1562 Richmond Ave - 2020 EVH 060298 - 10-17-23

Inspected 10/11/23

Some soffit has been repaired/replaced/installed. Property remains in violation. Property has an active unsafe building order # UNSF2100125.

Company: Code Enforcement

Contact: CEO Mike Reed

Created: 10/11/2023

(7)



Bare, exposed wood throughout the accessory structure.

(8)



Bare, exposed wood. Damaged stucco siding.

1580 E Mound St
2023EVH060599 Hearing Date
10/19/2023

Dumpster screening removed
High grass/weeds cut down

Company: Code Enforcement

Contact: CEO Bill Williams

Created: 10/13/2023

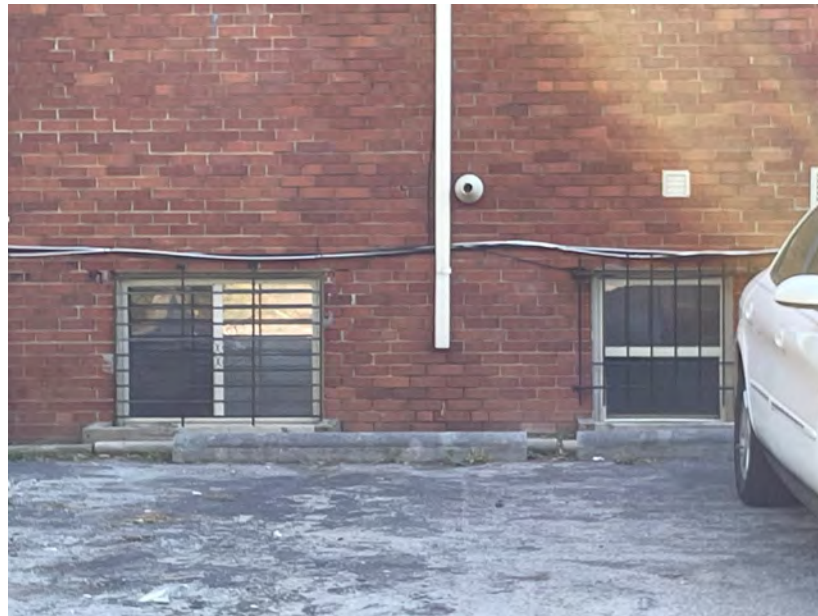
(2)



Broken window pane



Downspout missing section: does not divert water away from the structure



Parking/circulation area is cracked, damaged, and/or otherwise in a state of disrepairSolid waste



1768 Linden Pl - 2022evh060738

Hearing 10-20-23

Inspected on 10-17-23

Owner: Amelia Davis

Property zoned C4

Water service is off and has been off for at least one year.

No change or progress since last court inspection.

Contact: Matthew Mercer

Created: Tue, 10/17/2023

(1)



Front Of House

Created: Tue, 10/17/2023

This vacant structure not boarded to code; not all doors windows and openings are boarded entirely from the outside, and not all boards are painted.

Bare and exposed wood present on the exterior of the structure.

Damaged and or missing components to rain carrier system.



West Side Of House

Created: Tue, 10/17/2023

Vacant structure not boarded to code.

Solid waste present on premises.

Bare and exposed wood present on exterior of structure.

Damaged and/or missing components to exterior of structure including trim or fascia board. Damage to roof.

Porch steps lack required handrail.

1826 E Livingston Ave
2023EVH060340 Hearing Date
10/19/2023

No work observed

Company: Code Enforcement

Contact: CEO Bill Williams

Created: 10/12/2023

(2)



Vacant structure is not boarded to code
Broken windows
High grass/weeds
Bare wood surfaces throughout the exterior



(5)

Vacant structure is not boarded to code
Bare and/or rotting wood surfaces throughout the exterior
Damaged ceiling materials on front canopy
Front steps missing handrail



Vacant structure is not boarded to code
Broken windows
Bare wood surfaces throughout the exterior
Damaged masonry with holes in exterior walls
Graffiti
Rank growth
Damaged/missing vent slats

1841 E. North Broadway-2023

EVH 060586-10/20/23

Since the last court photos taken on 6.12.23 there has been no progress. The building department has active cases on this property UNSF2200224 and SRTN2200923.

Company: Code Enforcement

Contact: CEO Bobby Smith

Created: 10/17/2023

(1)



The porch roof has rotted, deteriorated bare exposed wood and has a large hole. There is bare wood exposed wood throughout. There is overgrown vegetation. Missing gutters.



Bare exposed wood.
Yard waste
Damaged fencing.
Solid waste/trash and debris.

1850 Tanis Dr - 2022evh060448

Hearing 10-19-23

Inspected on 10-12-23

Property is zoned Rural

Owner: JVR Property Solutions LLC (6-20-23)

-

Code Officer Matthew Mercer met owner, John Romanovich (RomanovichJ@yahoo.com) on-site at time of inspection. Mr. Romanovich said that property is vacant. Mr. Romanovich said that he was in the process of getting a demolition permit for the accessory structure. As of 1:30pm on 10-12-23, no demo permit on file with city.

Otherwise, little change to property since last court inspection.

Contact: Matthew Mercer

Created: Thu, 10/12/2023

(3)



Front, Southwest Corner Of House.

Created: Thu, 10/12/2023

Vacant structure not boarded to code. Bare and exposed wood present on exterior of building. Utility box open with interior components exposed. Vent cover missing from vent, building not weather tight. Structure lacks rain carriers, downspouts, rain diverters.



Front Of Accessory Structure

Created: Thu, 10/12/2023

Vacant structure not boarded to code. Bare and exposed wood present on exterior of structure. Damaged and/or missing elements on exterior of structure including fascia and trim.

East Side Of Accessory Structure

Created: Thu, 10/12/2023

Vacant structure is not boarded to code. Bare and exposed wood present on exterior of structure. Solid waste present on premises.



2256 Homestead Dr - 2023evh060491

Hearing 10-20-23

Inspected 10-17-23

Owner: Wharton Equity Partners Fund III LLC

Property zoned R3

-

No new permits, no progress since last court inspection.

Contact: Matthew Mercer

Created: Tue, 10/17/2023

(1)



Front Of Property

Created: Tue, 10/17/2023

Grass/weeds in excess of 12 inches in height.

Damaged and/or missing rain carriers.

Damaged front awning.

Lack of permit for new roof.

Bare and exposed wood on exterior of structure including at fascia board.



Rear Of House

Created: Tue, 10/17/2023

Bare and exposed wood.

Damaged accessory structure.

Solid waste present.

Weeds in excess of 12 inches in height.

Damaged/missing fascia board.

Missing rain carriers and/or downspouts.

Holes in exterior rear wall of house.

2288 Middlehurst Dr - 23EVH060578 - 10/17/23

Inspection completed on 10/10/23. No progress observed since the previous inspection.

Company: Code Enforcement

Contact: CEO Fallon Geer

Created: 10/10/2023

(2)



Vacant structure not boarded to code. Bare, exposed wood surfaces present on exterior. Damaged and/or missing sections of siding. Rain carriers full of debris. Missing downspout. High grass/weeds.



Vacant structure not boarded to code. Bare, exposed wood surfaces present on exterior. Missing downspout. Front porch overhang/ceiling materials missing and/or in disrepair. High grass/weeds. Solid waste.



Vacant structure not boarded to code. Bare, exposed wood surfaces present on exterior. Damaged and/or missing sections of siding. Rain carriers full of debris. High grass/weeds. Solid waste.

2363 Velma - 2023evh060589

Hearing 10-17-23

Inspected on 10-10-23

Property zoned R3

Owner : Holly Royer

-

Progress: little change since last court photos

Contact: Matthew Mercer

Created: Tue, 10/10/2023

(4)



Bare and exposed wood including at window board.
Improper exterior storage of appliances and tire.
Solid waste present on premises.
Accessory structure displays damaged and missing components.



Solid waste present on premises.
Accessory structure displays damaged and missing components.
Grass and/or weeds in excess of 12 inches in height on premises.

2445 Botsford Pl / 2019EVH060854 / 8.4.23

Since the previous inspection the inoperable vehicle was removed from the property. No progress was made to the condition of the structure.

Company: Code Enforcement

Contact: CEO Joseph Giammarino

Created: Tue, 8/1/2023

(1)



2445 Botsford Pl / 2019EVH060854 / 8.4.23

Created: Tue, 8/1/2023

- Tarps are covering sections of the roof; not permanent roofing material.
- Bare and exposed wood surfaces throughout the exterior siding, fascia, trim, and soffit.
- Yard waste.
- Damaged soffit.

(2)



- Bare and exposed wood surfaces.

2650 Indianola Ave
2023EVH060282 Hearing Date
10/20/2023

Rank growth has been removed

Company: Code Enforcement

Contact: CEO Bill Williams

Created: 10/17/2023

(5)



Solid waste and/or improper exterior storage of construction materials and/or miscellaneous items



Detached insulation materials under south side of structure

2996 E 6th Ave - 22EVH060098 - 8/4/23

Little to no progress observed towards compliance on exterior of structure since the last inspection. Property was approved for re-occupancy on 3/13/23 by the area code officer.

Company: Code Enforcement

Contact: CEO Fallon Geer

Created: 08/01/2023

(1)



Bare, exposed wood surfaces present on exterior. Damaged and/or missing sections of siding. Improper exterior storage including window components.



Bare, exposed wood surfaces present on exterior. Damaged and/or missing sections of siding. Improper exterior storage plastic containers, furniture and other miscellaneous items.

08/10/23 2:14pm

92 E CRESTVIEW RD., COLUMBUS, OH. 43202

Inspected by: CEO A. KNISLEY



Violations shown above:

*4525.13 - Sections of the rear fencing are in disrepair.

*709.03 - No owner or person having charge of any premises in the city shall permit to grow any grass, brush, vines, shrubs, or noxious weeds in excess of twelve (12) inches in height. Cited parties are responsible for the removal of high grass, noxious weeds, or solid waste to the centerline of any abutting street, alley, or right-of way.

*709.03- No owner or person having charge of a dwelling, dwelling unit, multiple dwelling, business building or premises shall allow grass, weeds, noxious weeds, rank growth, brush or similar vegetation to remain on the premises at such a height and density as to constitute harborage, actual or potential, for rodents or vermin.

*707.03 - No owner or person having charge of any premises shall store, allow to accumulate or dispose of garbage, rubbish, debris, animal or solid waste by placing said waste in or on any land or premises in the city. Every owner or person having charge of any premises shall remove any and all manner of solid waste on the property, including any abutting STREET, ALLEY OR RIGHT OF WAY.

08/10/23 2:14pm

92 E CRESTVIEW RD., COLUMBUS, OH. 43202

Inspected by: CEO A. KNISLEY



Violations shown above:



*709.03 - No owner or person having charge of any premises in the city shall permit to grow any grass, brush, vines, shrubs, or noxious weeds in excess of twelve (12) inches in height. Cited parties are responsible for the removal of high grass, noxious weeds, or solid waste to the centerline of any abutting street, alley, or right-of way.

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*707.03 - No owner or person having charge of any premises shall store, allow to accumulate or dispose of garbage, rubbish, debris, animal or solid waste by placing said waste in or on any land or premises in the city. Every owner or person having charge of any premises shall remove any and all manner of solid waste on the property, including any abutting STREET, ALLEY OR RIGHT OF WAY.

*3332.289 - There is improper storage on the exterior of this property.

08/10/23 2:14pm

92 E CRESTVIEW RD., COLUMBUS, OH. 43202

Inspected by: CEO A. KNISLEY



Violations shown
above:

*709.03 - No owner or person having charge of any premises in the city shall permit to grow any grass, brush, vines, shrubs, or noxious weeds in excess of twelve (12) inches in height. Cited parties are responsible for the removal of high grass, noxious weeds, or solid waste to the centerline of any abutting street, alley, or right-of way.

*709.03- No owner or person having charge of a dwelling, dwelling unit, multiple dwelling, business building or premises shall allow grass, weeds, noxious weeds, rank growth, brush or similar vegetation to remain on the premises at such a height and density as to constitute harborage, actual or potential, for rodents or vermin.

213 E Tompkins St - 2023 EVH
060576 - 10-17-23

There appears to have been little
to no progress since the last
inspection.

Agency: Inspector: Inspection
date: _____

Code Enforcement CEOS Mike
Mercer 10/16/2023





Violations observed: Violations observed: Not boarded to code, damaged retaining wall, trash and debris, high grass and weeds, rain carriers in disrepair



Violations observed: Not boarded to code, damaged retaining wall, trash and debris, high grass and weeds, rain carriers in disrepair

2496-2498 Summit St - 2023

EVH 060237 - 8-22-23

Since the last inspection change of use application FCO2325217 has been approved but certificate of occupancy has not yet been issued due to missing payment. No other progress has been made towards compliance and all other violations remain.

Company: Code Enforcement

Contact: CEOS Mike Mercer

Created: 08/18/2023

(3)



Brick corner contains mortar voids near the downspout.

(4)



Address number for rear residential structure not clearly visible from the street or right-of-way. High grass and weeds. Solid waste.

Address
5357 Acevedo

Photos taken by:
Chad Gentry

Date Taken:
7/6/2023



Damaged fence; high grass/weeds; vacant structure not secured to code.

Address
5357 Acevedo

Photos taken by:
Chad Gentry

Date Taken:
7/6/2023



Vacant structure not secured to code.

7803 Willowgreen Ct – Parcel 610-166670-00



7777 Fawn Meadow Ct – Parcel 610-166670-00



176 Brownsfell Dr – Parcel 610-207491-00



265 Brownsfell Dr – Parcel 610-207453-00



308 Brownsfell Dr – Parcel 610-207462-00



7925 Prairieview Dr – Parcel 610-207533-00



7908 Prairieview Dr – Parcel 610-207510-00



7744 Barkwood Dr – Parcel 610-209330-00



2987 West Case Rd – Parcel 590-164572-00



5387 Harvest St – Parcel 590-164538-00



5729 Crown Crest Ln – Parcel 590-169151-00



5727 Empress Ln – Parcel 590-169104-00

