

GENERAL PROJECT INFORMATION	
MAXIMUM BUILDING HEIGHT	45'-0"
PROPOSED BUILDING HEIGHT	BLDG A: 39'-0" BLDG B: 39'-0"
NO. OF DWELLING UNITS (RESIDENTIAL ONLY)	100
PROPOSED REUSE SERVICE (RESIDENTIAL ONLY)	COLUMBUS
PROPOSED REUSE CAPACITY, CY (RESIDENTIAL ONLY)	16 CY

- THIS SITE COMPLIES WITH ALL UCO STANDARDS.
- THE PROPOSED PROJECT WILL COMPLY WITH:
 - 3312.15 & 3321.01 DUMPSTER AREA
 - 3312.21 LANDSCAPING & SCREENING
 - 3312.19 & 3312.03 LIGHTING
 - 3321 GENERAL SITE DEVELOPMENT STANDARDS
 - 3321.05 VISION CLEARANCE
 - 3312.43 REQUIRED SURFACE FOR PARKING
 - 3312.45 WHEEL STOP DEVICE

SITE DATA TABLE	
TOTAL AREA	2.906 AC
SITE DISTURBED AREA	2.648 AC
OFFSITE & R/W DISTURBED AREA	0.258 AC
TOTAL DISTURBED AREA	2.906 AC
SITE:	
PRE-DEVELOPED IMPERVIOUS	1.419 AC
POST-DEVELOPED IMPERVIOUS	1.911 AC
R/W:	
PRE-DEVELOPED IMPERVIOUS	0.203 AC
POST-DEVELOPED IMPERVIOUS	0.212 AC
TOTAL:	1.55 AC
PRE-DEVELOPED IMPERVIOUS	1.55 AC
POST-DEVELOPED IMPERVIOUS	2.29 AC

A CC ENGINEERED STORM PLAN IS REQUIRED IF OVER 10,000 SF (0.2296 AC) OF EARTH DISTURBANCE OR MORE THAN 2,000 SF (0.0459 AC) OF NEW IMPERVIOUS SURFACE.

- A FULL EROSION AND SEDIMENT CONTROL (ESC)/STORMWATER POLLUTION PREVENTION PLAN (SWP3) IS REQUIRED ON NEW SITE DISTURBANCES OF ONE ACRE OR LARGER.
- THE ESC/SWP3 PLAN REQUIREMENTS ARE DETAILED IN THE CITY OF COLUMBUS STORMWATER DRAINAGE MANUAL, APPENDIX A, EROSION AND SEDIMENT POLLUTION CONTROL REGULATION.

EROSION AND SEDIMENT CONTROL LAND DISTURBANCE AREAS LESS THAN ONE ACRE AND NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT ARE NOT REQUIRED TO SUBMIT TO THE CITY OF COLUMBUS A FULL SCALE EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL. HOWEVER, THE PROPOSED LAND DISTURBING ACTIVITIES MUST COMPLY WITH ALL OF THE PROVISIONS OF THE DIVISION OF SEWERAGE AND DRAINAGE EROSION AND SEDIMENT CONTROL REGULATION. ALL LAND DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION BY THE CITY OF COLUMBUS TO DETERMINE COMPLIANCE WITH CITY STANDARDS AND REGULATIONS. FAILURE TO COMPLY WITH THESE REGULATIONS MAY SUBJECT THE SITE TO ENFORCEMENT ACTION BY THE CITY ENGINEERS REGARDING EROSION AND SEDIMENT CONTROL. MAY BE REFERRED TO THE STORMWATER MANAGEMENT OFFICE AT 645-6311.

PHONE:
FAX:
E-MAIL:
SITE IS TRIBUTARY TO: NEAREST NAMED WATERCOURSE

SANITARY SEWER NOTE
CONNECTION TO SANITARY SEWER CANNOT BE MADE WITHOUT OBTAINING A PERMIT FROM THE SEWER PERMIT OFFICE, 111 N. FRONT STREET, 614-645-7490.

SANITARY SERVICES ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF THE SANITARY SERVICES OR THEIR LOCATIONS. CONTACT THE DPU PERMIT OFFICE AT 111 N. FRONT STREET FOR SANITARY APPROVAL.

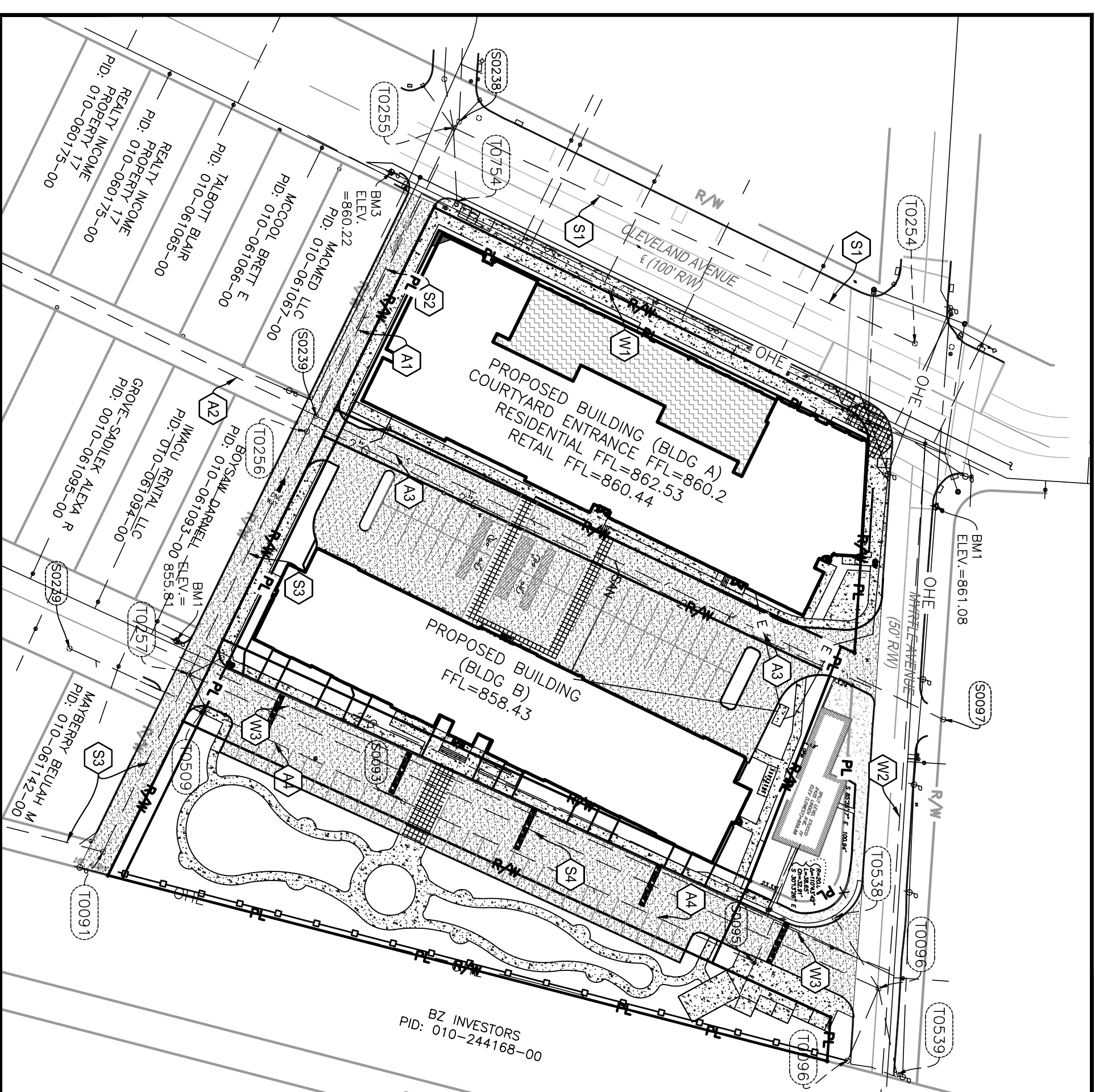
SANITARY DEMOLITION NOTE
PRIOR TO DEMOLITION, A PERMIT FOR SANITARY LATERALS TO BE CAPPED OFF MUST BE OBTAINED FROM THE SEWER PERMIT OFFICE AT 910 DUBLIN ROAD, 3RD FLOOR, 614-645-7490.

RIGHT-OF-WAY ENGAGEMENT NOTE
NO PRIVATE ELEMENTS ARE PERMITTED TO ENROACH INTO THE RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO STAKES, RAILINGS, FOUNDATIONS, DOORS, OVERHEAD ELEMENTS OR WALLS. ALL DISTURBANCE IN THE R/W AND OFFSITE IS ACCOUNTED FOR AND ADDRESSED WITH THE DETENTION AND WATER QUALITY PROVIDED UNDER STORM CG 19140.

PARKLAND DEDICATION ORD. (CC3318) DOES NOT APPLY.
EXPIRATION NOTE
PLAN IS VALID FOR ONE (1) YEAR FROM DATE OF APPROVAL.

Final Received 6/18/2021 Z20-055; Page 1 of 8
Signed by Laura Comek on 6/18/2021
Signed copies on file

CITY OF COLUMBUS, OHIO MULBY PLACE 2432 CLEVELAND AVE.



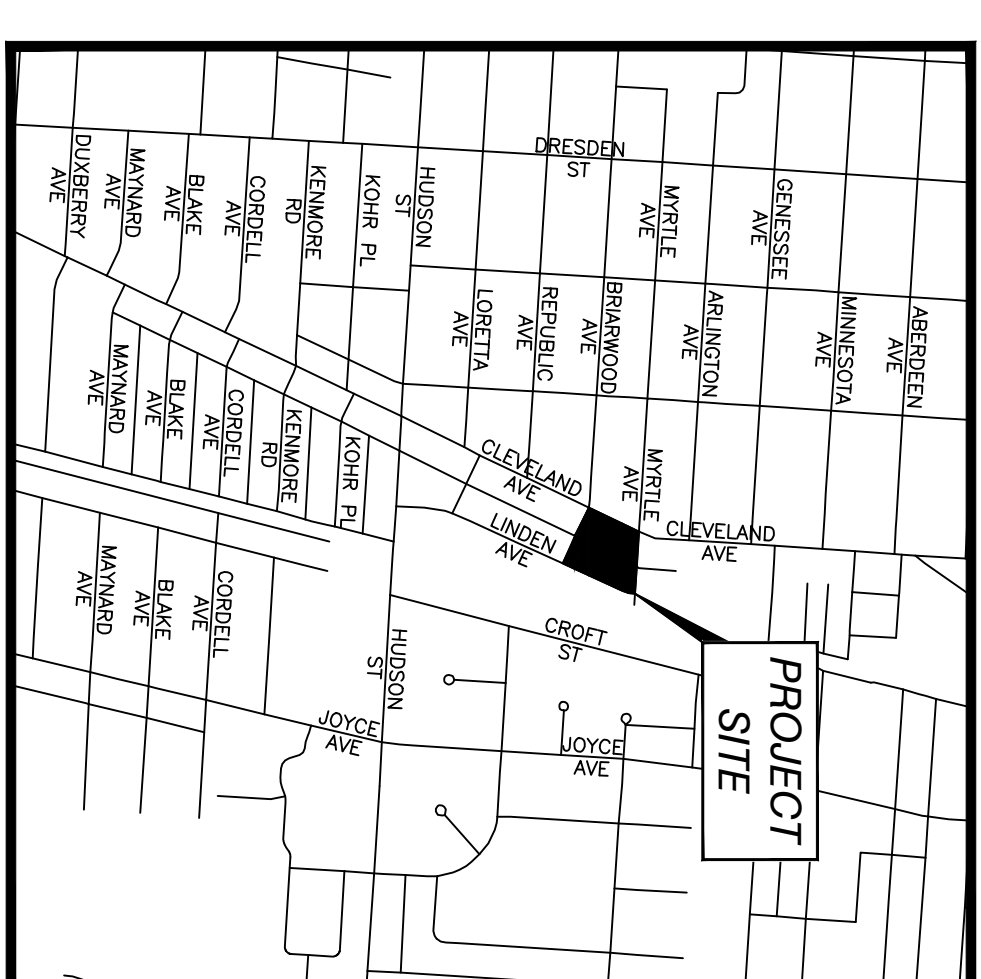
INDEX MAP
SCALE: 1" = 40'

2

STORM (PRIVATE)
WATER SERVICE PLAN
WATER SERVICE PLAN
DRAWER E
LINDEN RIGHT OF WAY VACATION INSTRUMENT#/
ORDINANCE #: PENDING

PARKING CALCULATION			
USE	SIZE	MINIMUM	MAXIMUM
HOUSING FOR THE AGING	100 UNITS	0.75 PER UNIT = 75	N/A
RETAIL	3,196 SF	1:250* 50% SF = 7	N/A
REQUIRED PARKING (ROUND UP)		82	N/A
PROVIDED PARKING (EXISTING/PROPOSED)		GROUND = 69 + GARAGE = 23 = TOTAL = 92	
REQUIRED ADA PARKING (VAN/TOTAL)		1 / 4	
PROVIDED ADA PARKING (VAN/TOTAL)		2 / 4	
BICYCLE PARKING (REQUIRED/PROVIDED)		6 / 8	
DWELLING UNIT SHADE TREES (REQUIRED/PROVIDED)		10 / 10	

These drawings are instruments of professional service by Sands Decker GPS, LLC for the designated project. Sands Decker GPS, LLC assumes no liability for unauthorized use of these drawings, specifications, and documents.



VICINITY MAP
NOT TO SCALE

1

- INDEX OF SHEETS
- TITLE SHEET
 - EXISTING CONDITIONS & DEMOLITION PLAN
 - OVERALL DIMENSION PLAN
 - DIMENSION PLAN
 - DIMENSION PLAN (CONT.)
 - GENERAL NOTES & DETAILS

PROJECT SCOPE OF WORK: THE PROJECT CONSISTS OF DEMOLITION OF PART OF AN EXISTING BUILDING AND THE ADDITION OF A 80' X 150' EXPANSION WITH ADDITIONAL PARKING, 80' X 28' CONNECTOR TO THE EAST. WORK WILL INCLUDE PAVING IMPROVEMENTS TO THE EXISTING GRAVEL DRIVE AND INSTALLATION OF NECESSARY STORM WATER DETENTION & PIPING.

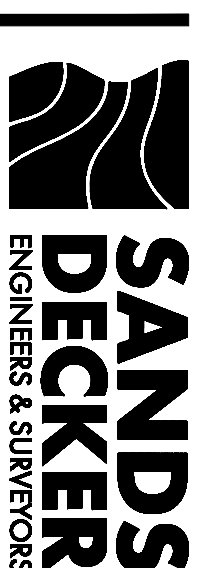
OWNER/DEVELOPER:
HOMEPORT
3443 AGLER ROAD
COLUMBUS, OHIO 43219
614-221-8889

ARCHITECT:
MHA ARCHITECTS, ALISON CRUMLEY, NCARB
775 YARD STREET
COLUMBUS, OH 43212
614-764-0407 PH
ALISON@MHA-ARCHITECTS.COM

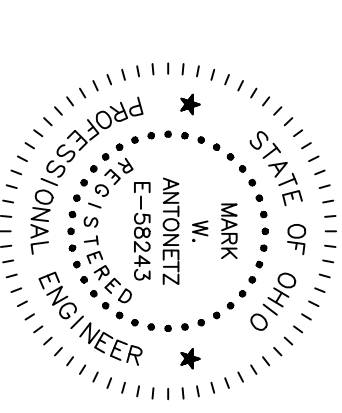
ENGINEER:
SANDS DECKER GPS, LLC,
MARK ANTONETZ, P.E.
4495 OLD HENDERSON ROAD
COLUMBUS, OHIO 43220
614-459-6992 PH
MANTON@SANDSDECKER.COM

GENERAL ZONING INFORMATION

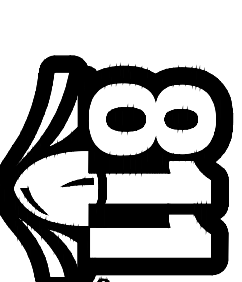
CERTIFIED ADDRESS	2432 CLEVELAND AVENUE
PARCEL NO.	010-061068, 010-061069, 010-061070, 010-061072, 010-061073, 010-061084, 010-061085, 010-061086, 010-061087, 010-061088, 010-061089, 010-061090, 010-061091, 010-061092, 010-061143, 010-061144, 010-061145
ZONING CLASSIFICATION/DISTRICT	COMMERCIAL-CPD
HEIGHT DISTRICT	35 FEET
COMMERCIAL OVERLAY	N/A
TOTAL SITE AREA (SF OR AC)	2.648 ACRES
FLOOD INSURANCE RATE MAP (FIRM) NUMBER	39049C0189K
MOST RECENT EFFECTIVE DATE OF FIRM	JUNE 17, 2008
FLOOD ZONE/DATA	X - AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.



OFFICES
128 East Main Street
Logan, Ohio 43138
740-388-2140
1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992
507 Main Street
Zanesville, Ohio 43701
740-450-1640



Registered Engineer
Date: 06/03/2021

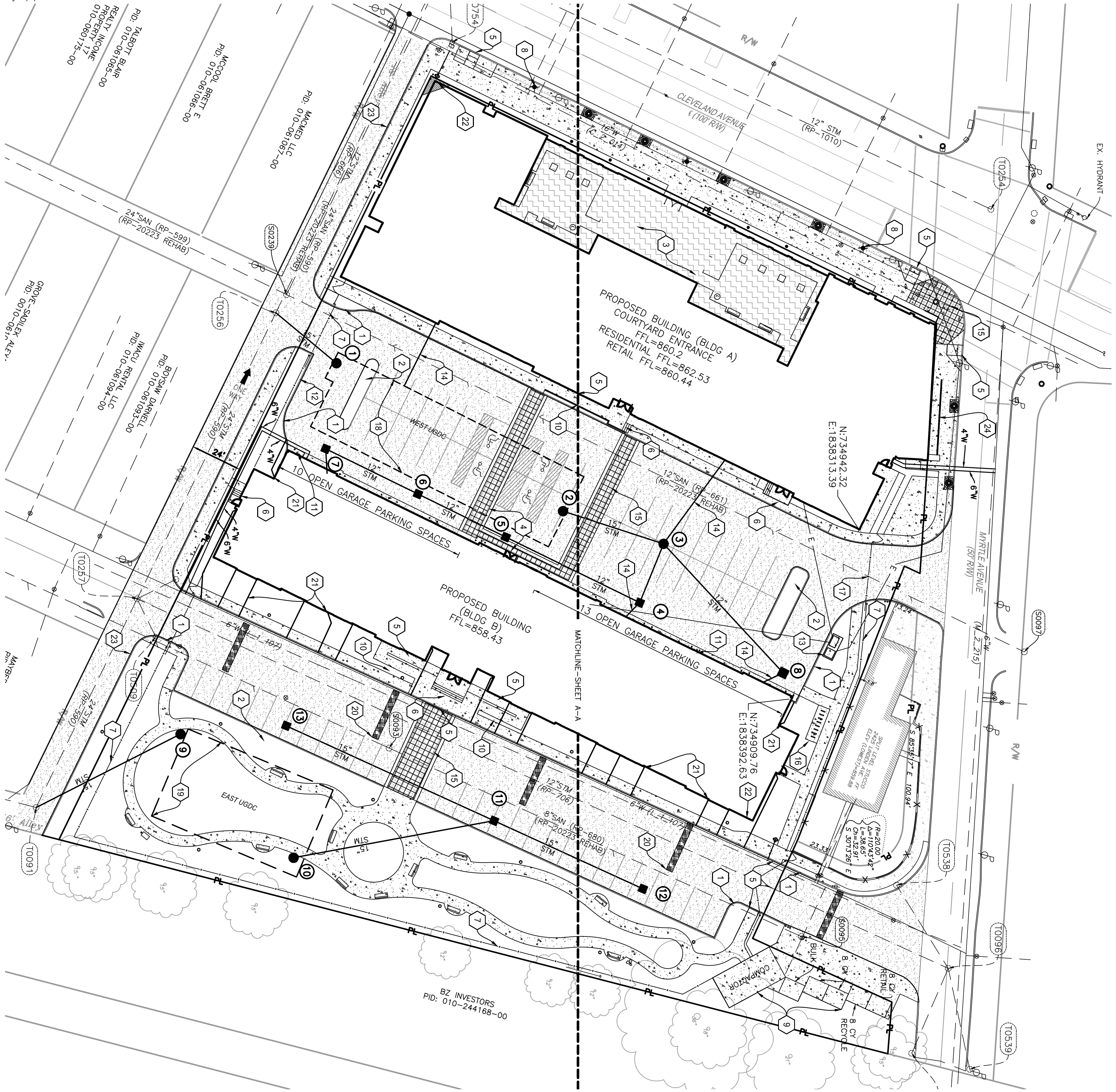


MULBY PLACE
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COLUMBUS, OH. 43211

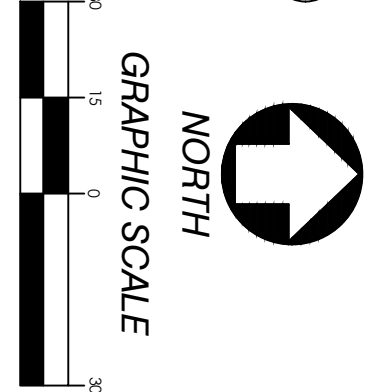
06-03-2021 FINAL SITE COMPLIANCE

SITE COMPLIANCE PLAN

TITLE SHEET
1 OF 6
SD PROJECT NO. 4001



OVERALL SITE PLAN
1" = 30'



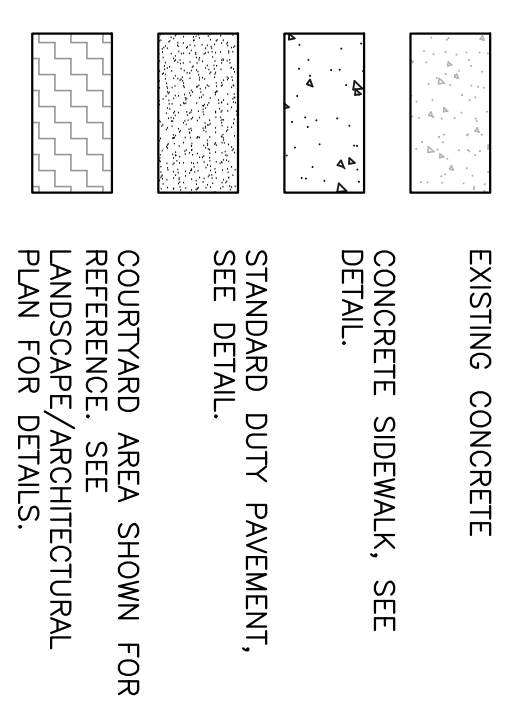
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Signed by Laura Comek on 6/18/2021
Signed copies on file

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3 SITE KEYNOTES

- STANDARD CONCRETE CURB, SEE DETAILS.
- PROPOSED LANDSCAPE, TYP. SEE LANDSCAPE PLANS FOR DETAILS.
- COURTYARD LANDSCAPE SHOWN FOR REFERENCE. REFER TO ARCHITECTURAL/LANDSCAPE PLANS FOR COURTYARD DETAILS.
- ADA RAMP, SEE GRADING PLAN FOR GRADES.
- STAIRS TO BUILDING ENTRANCE, SEE ARCH PLANS FOR DETAILS.
- FENCE, SEE LANDSCAPE PLAN FOR DETAILS.
- SITE LIGHTING SHOWN FOR REFERENCE (TYP.). REFER TO MEP FOR DETAILS.
- DUMPSTER LOCATION.
- SEE ARCHITECTURAL PLAN FOR WALL DETAILS.
- CONCRETE BOLLARD, TYP. SEE LANDSCAPE PLANS FOR DETAILS.
- CURB CUT FOR MAJOR FLOOD ROUTING.
- GENERATOR LOCATION, SEE MEP PLANS FOR DETAILS.
- 6" ROOF DRAIN.
- PAVERS, SEE LANDSCAPE PLANS FOR DETAILS.
- BIKE RACK, SEE LANDSCAPE PLANS FOR DETAILS.
- ENTRANCE/EXIT GATE, SEE ARCHITECTURAL/LANDSCAPE PLANS FOR DETAILS. SEE DETAIL SHEETS 12&13.
- 8" x 20" CHAMBERS, SEE DETAIL SHEETS 14&15.
- PROP. SPECTRUM LIGHTING, SEE DETAIL SHEETS 14&15.
- 4" ROOF DRAIN, DAY LIGHTED TO CURB, 1.0% MIN. SLOPE.
- FDC REQUIRED TO FACE OF BUILDING, SEE MEP PLANS FOR DETAILS.
- MILL AND OVERLAY EXISTING ALLEY, ALLEY TO BE WIDENED TO THE LIMITS OF THE EXISTING RIGHT OF WAY.
- EXTRUDED CURB

LEGEND

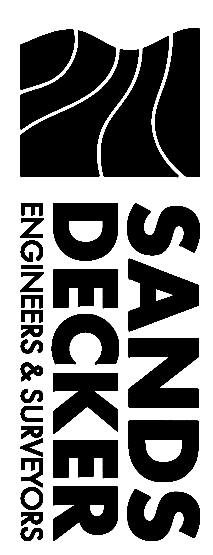


MISC. NOTES

- ALL CURB SHALL BE INTEGRAL CURB & SIDEWALK UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND & REPORT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR BUILDING FOOTING CORNER LOCATIONS IN SILE FIELD.
- DO NOT SCALE FROM THIS DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO THE A/E.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS EVERY 20' UNLESS OTHERWISE NOTED FOR ALL CONCRETE PADS, APRONS & STOPS. SEE ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR DETAILS.
- ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.
- ONE SPARE SET OF MATCHING TREE GRATES WILL BE SUPPLIED TO THE GRPD/FORESTRY DEPT. FOR EVERY SIZE BEING USED ON THE PROJECT, AS WELL AS 1 TOOL THAT IS NEEDED TO REMOVE THE BOLTS THAT WILL FASTEN DOWN THE GRATES TO THE FRAMES FOR FUTURE MAINTENANCE AND REPLACEMENT.
- SANITARY SERVICES AND OTHER UTILITY CONNECTIONS ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF THE SANITARY SERVICES, THEIR LOCATIONS, OR ANY OTHER NON-STORM WATER UTILITY. CONTACT THE DPU PERMIT OFFICE AT 111 N. FRONT ST. FOR SANITARY SERVICE APPROVAL.
- CONNECTION TO ANY SANITARY SEWER CANNOT BE MADE WITHOUT OBTAINING A PERMIT FROM SEWER PERMIT OFFICE 111 N. FRONT ST (614) 645-7490.
- SEWER CUTOFF PERMIT IS REQUIRED PRIOR TO ISSUANCE OF DEMOLITION PERMIT. OBTAIN CUTOFF A PERMIT FROM SEWER PERMIT OFFICE 111 N. FRONT ST 614-645-7490.

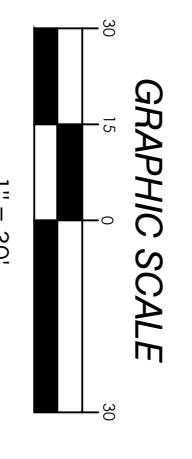
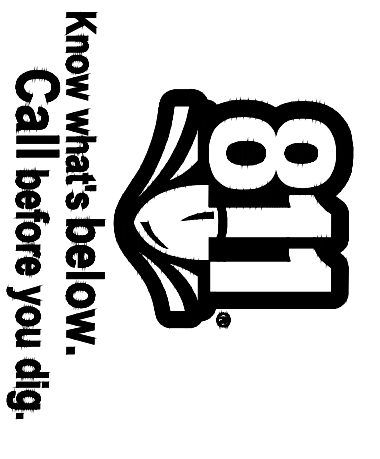
CV TEXT

- THE FOLLOWING VARIANCES ARE REQUESTED TO PERMIT THE EXISTING CONDITIONS OF THE SITE TO REMAIN ONCE THE PROPERTY IS REZONED TO CPD. UPON ANY REDEVELOPMENT OR EXPANSION, THE SITE SHALL BE REQUIRED TO CONFORM TO CITY CODE REQUIREMENTS IN EFFECT AT THAT TIME.
- VARIANCE FROM C.C.C. §3309.141 - TO INCREASE THE HEIGHT FROM 35 FT. TO FORTY-FIVE (45) FEET.
 - VARIANCE FROM C.C.C. §3349.03 (W) - TO ALLOW HOUSING FOR THE ELDERLY WITHOUT THE LIMITATION OF ONE DWELLING UNIT PER 2,500 SQUARE FEET OF LOT AREA.
 - VARIANCE FROM C.C.C. §3372.605(D) - TO REDUCE THE PERCENTAGE OF WINDOW COVERAGE TO 45%.
 - VARIANCE FROM C.C.C. §3372.605(B) - TO ALLOW FOR A RECESSED COURTYARD AREA IN EXCESS OF THE MAXIMUM, THUS REDUCING THE FRONTAGE REQUIREMENT FROM 60% TO 41%.
 - VARIANCE FROM C.C.C. §3321.05 - TO REDUCE THE VISION CLEARANCE TRIANGLE TO ACCOMMODATE ALLEY IMPROVEMENTS AT THE SOUTH WEST CORNER OF THE SITE ALONG AN UNNAMED ALLEY AND CLEVELAND AVENUE.



OFFICES
128 East Main Street
Logan, Ohio 43138
740-388-2140
1495 Old Henderson Road
Columbus, Ohio 43226
614-459-6992
507 Main Street
Zanesville, Ohio 4370
740-450-1640

NOT FOR CONSTRUCTION

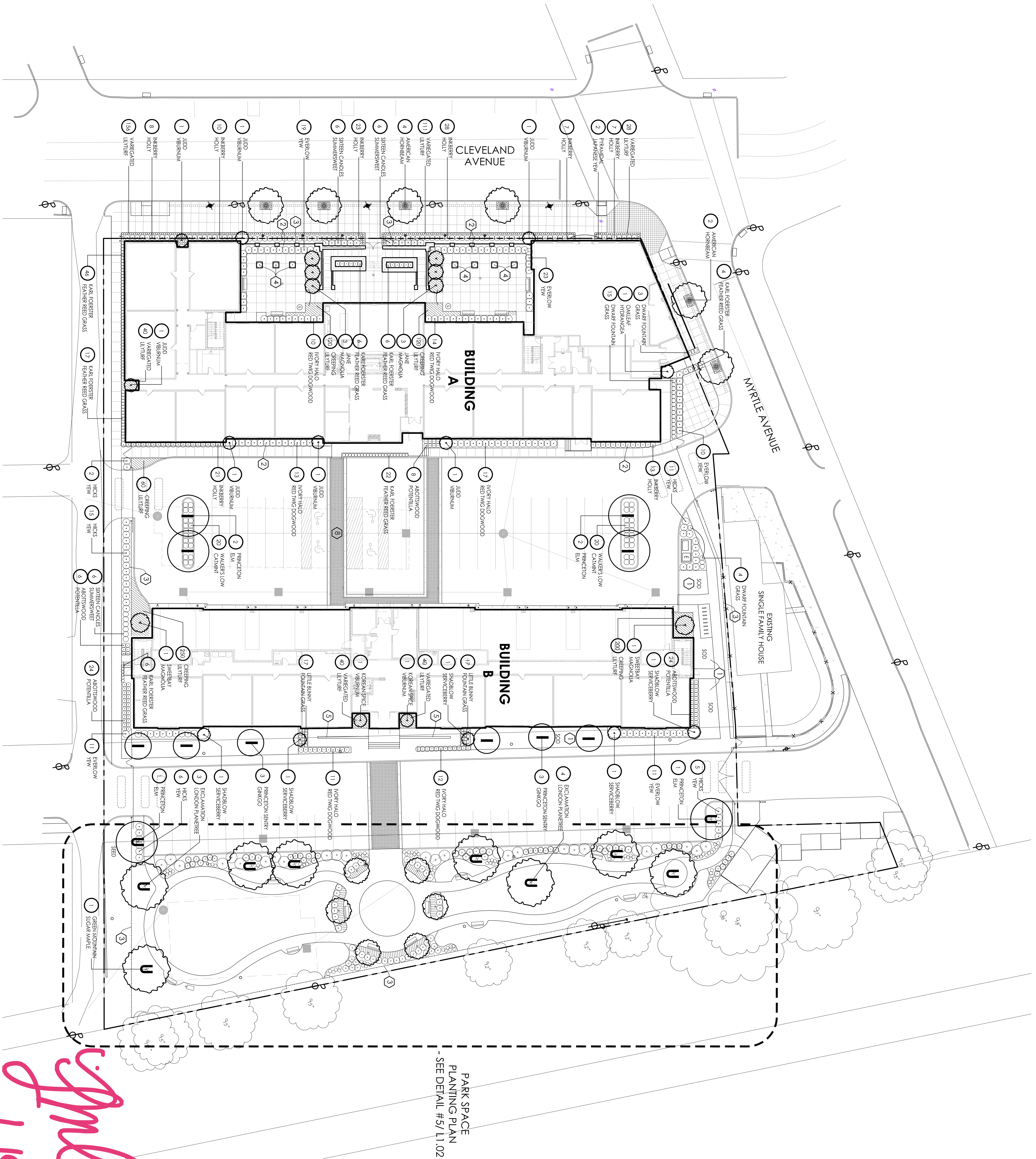


MULBY PLACE
2420 CLEVELAND AVE.
COLUMBUS, OH. 43211

FINAL SITE COMPLIANCE

SITE PLAN (OVERALL)

3 OF 6
SD PROJECT NO. 4001



PARK SPACE
PLANTING PLAN
-SEE DETAIL #5/ L1.02

- GENERAL LANDSCAPE NOTES:**
1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE FIELD, THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLAN OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
 2. EXAMINE IN-SITU SURFACE GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
 4. ALL PLANT MASSSES TO BE CONTAINED WITHIN 3' DEEP HARDWOOD BARK MULCH BED.
 5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUOUS GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
 7. CONTRACTOR SHALL SEED OR SOO ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN. ALL AREAS BETWEEN BUILDING AND CURB TO BE TO BE SEEDED.
 8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

- CONSTRUCTION NOTES:**
1. LAWN AREA, SCARIFY SUBGRADE AND REMOVE STONE AND TOPSOIL AT 6" (MIN) DEPTH. TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES. SEED OR SOO AS INDICATED.
 2. LANDSCAPE AREA, REMOVE SUBGRADE AND/OR STONE TO 18" DEPTH. SCARIFY SUBGRADE AND FILL WITH TOPSOIL AT 18" (MIN) DEPTH. SCARIFY SUBGRADE AND FILL WITH AREAS WITH HARDWOOD BARK MULCH AT 3" (MIN) DEPTH.
 3. DECORATIVE FENCE - SEE SHEETS L2.01 TO L2.03
 4. SEE PLANTER DETAIL, THIS SHEET.
 5. DECORATIVE GRAVEL IN SPACE BETWEEN H.C. RAMPS, GRAVEL TO BE LOCAL WASH 1.5"-3" DIA. AT 4" (MIN) DEPTH OVER WEED FABRIC.

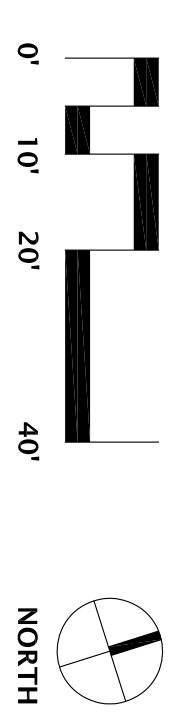
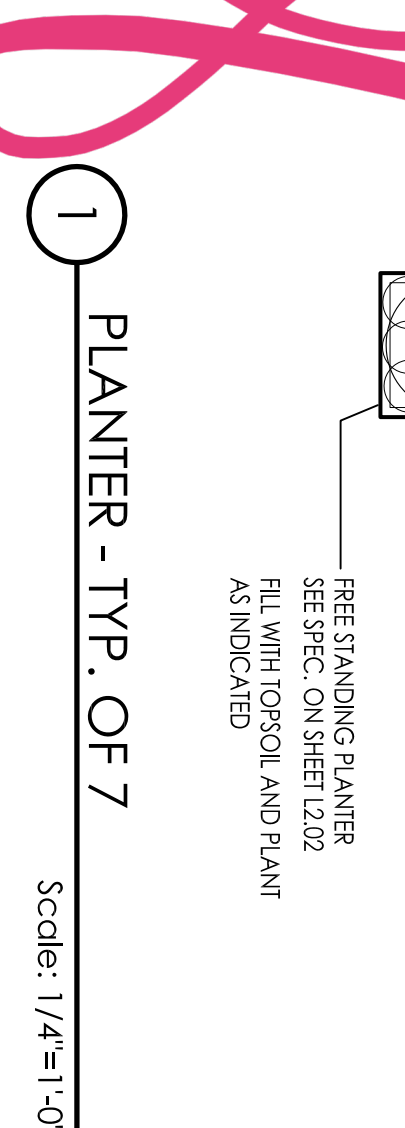
ZONING COMPLIANCE

SECTION 3312.21 A INTERIOR LANDSCAPE, PROVIDE ONE TREE FOR EVERY TEN PARKING SPACES.
91 SPACES / 10 = 9.1 OR 10 TREES REQUIRED
TREES PROVIDED = 10

SECTION 3212.21 B3 INTERIOR LANDSCAPE, PERMETER PARKING LOT SCREENING REQUIRED
SCREENING REQUIRED FOR PERMETER PARKING LOTS AND DRIVE AISLES SCREENED WITH EVERGREEN HEDGE (HICKS YEW) AND BE MAINTAINED AT A 5' HGT. AND SHALL ACHIEVE 100% OPACITY AT ALL TIMES OF YEAR.

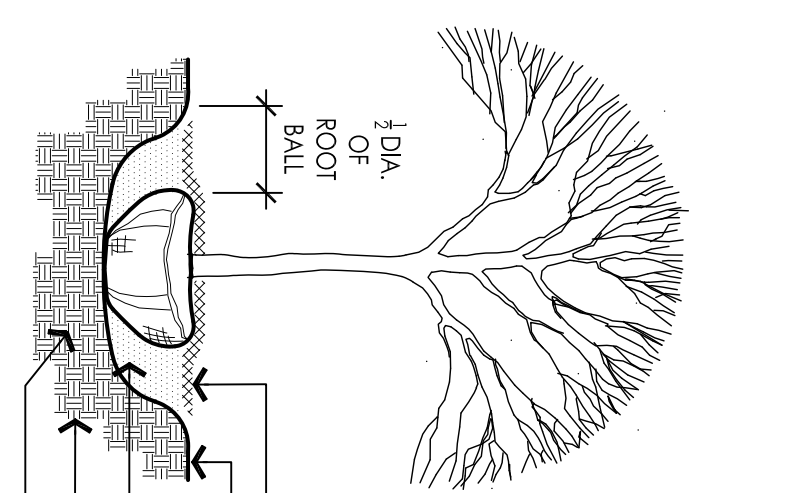
SECTION 3271.07 LANDSCAPING - ONE TREE REQUIRED FOR EVERY (10) DWELLING UNITS
100 UNITS / 10 = 10 TREES REQUIRED
TREES PROVIDED = 10

- LEGEND**
- 1 INTERIOR LANDSCAPING TREES PER 3312.21
 - 1 SEE SITE COMPLIANCE DATA
 - 1 RESIDENTIAL UNIT TREES PER 3271.07
 - U SEE SITE COMPLIANCE DATA

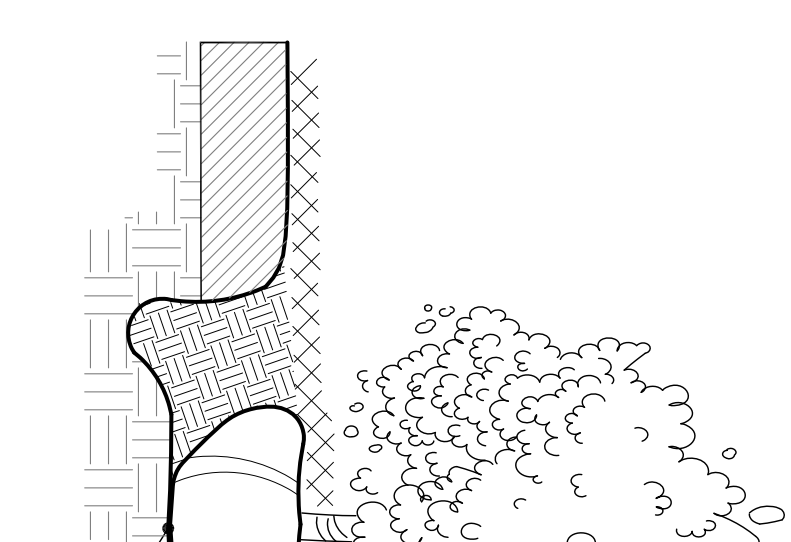


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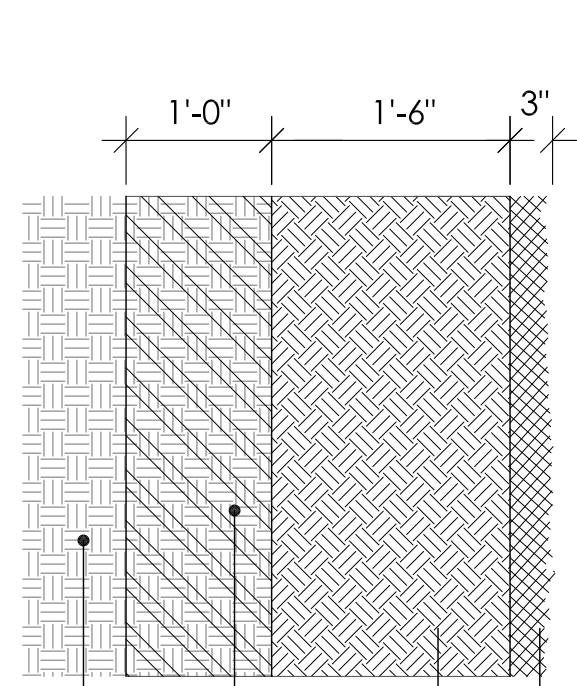
EDGE PLANNING LANDSCAPE ARCHITECTURE
200 W. SPRINGFIELD AVE., SUITE 350
COLUMBUS, OHIO 43212
614.486.3343
www.edgepa.com



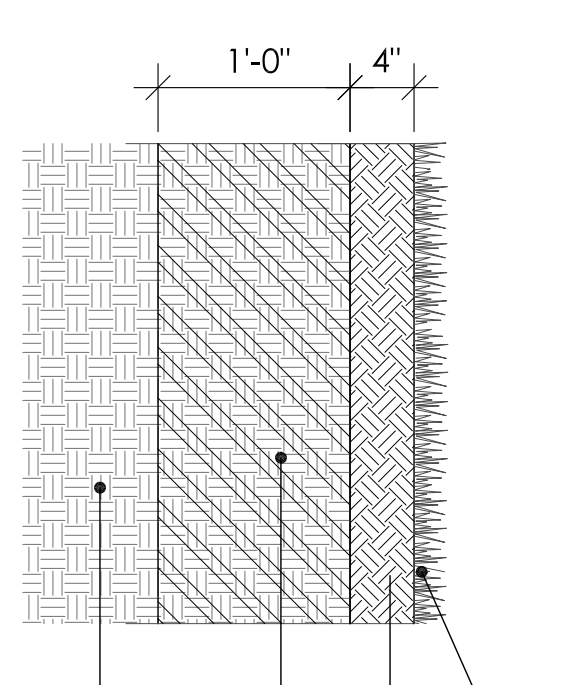
NOTES:
1. TOP OF ROOT BALL TO BE 2'-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/2 OF ROOT BALL CUT OFF 1/2 OF WIRE BASKET FROM ROOT BALL AND REMOVE ALL LABEL TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS
3. HARDWOOD BARK MULCH
4. BACKFILL PLANTING MIX
5. EXISTING SOIL
6. UNDISTURBED SOIL OR COMPACTED BACKFILL



NOTES:
1. TOP OF FOOTBALL TO BE 2'-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL LABEL TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS
3. 3" DEPTH OF HARDWOOD BARK MULCH OVER ENTIRE PLANTING BED
4. FINISH GRADE
5. 6" DEPTH OF SOIL MIX INCORPORATED OVER ENTIRE PLANTING BED BEFORE PLANTING OPERATIONS BEGIN
6. BACKFILL WITH NATIVE SOIL
7. EXISTING SOIL
8. UNDISTURBED SOIL OR COMPACTED BACKFILL



3" SHEDED HARDWOOD MULCH
PLANTING SOIL MIX, SEE SPECIFICATIONS
RIPPED SUBGRADE SOIL
UNDISTURBED SUBGRADE



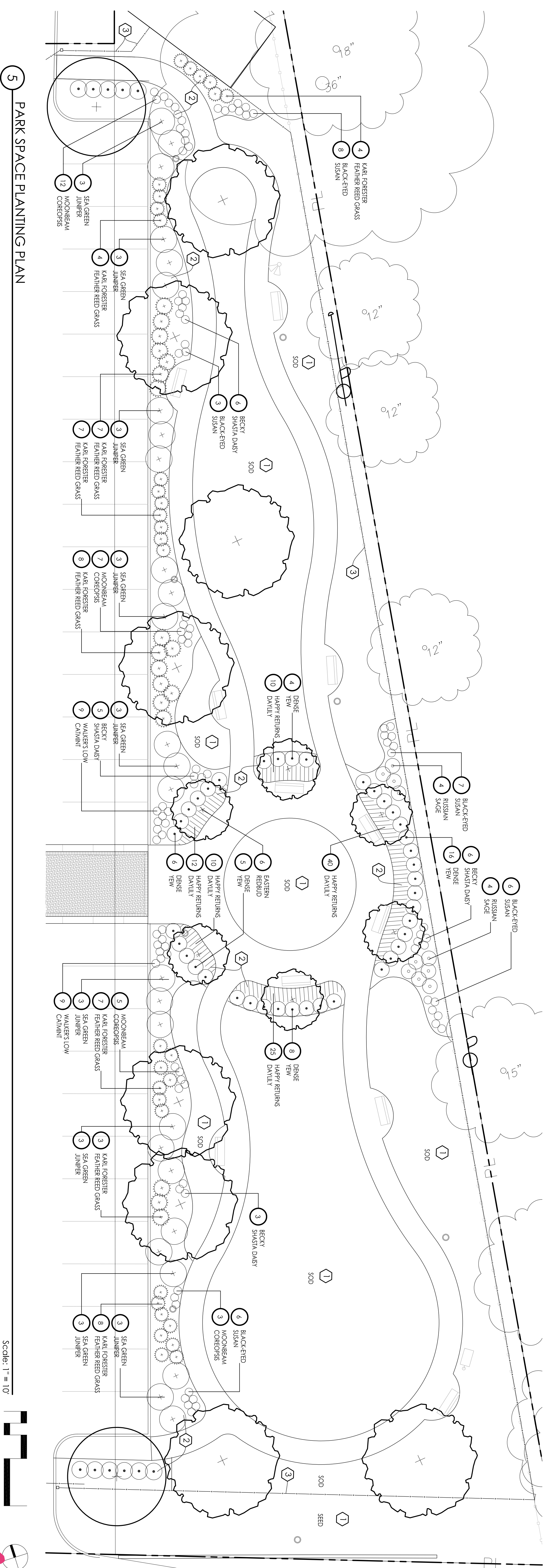
LAWN
LAWN SOIL MIX, SEE SPECIFICATIONS
RIPPED SUBGRADE SOIL
UNDISTURBED SUBGRADE

PLANT MATERIALS LIST CONTRACTOR RESPONSIBLE FOR ALL PLANT QUANTITIES SHOWN ON PLAN

QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
TREES					
1	GREEN MOUNTAIN SUGAR MAHLE	Acer saccharum Green Mountain	2.5 Col.	B&B	
5	SHADLOW SERVICEBERRY	Ambrosia coccinea	6-7' Hgt.	B&B	MULTI-STEM
6	AMERICAN HORSEBEAM	Cornus canadensis	2.5 Col.	B&B	
6	EASTERN REDBUD	Cercis canadensis	7-8' Hgt.	B&B	SINGLE STEM
6	PRINCETON SENNRY GINCO	Ginkgo biloba Princeton Sentry	2.5 Col.	B&B	
6	JANE MAGNOLIA	Magnolia x Jane	6-7' Hgt.	B&B	MULTI-STEM
2	SWEETBAY MAGNOLIA	Magnolia virginiana	7-8' Hgt.	B&B	MULTI-STEM
7	EXCALIBATION LONDON PLANETREE	Platanus x excelsior London Clear	2.5 Col.	B&B	
6	PRINCETON ELM	Ulmus americana Princeton	2.5 Col.	B&B	MULTI-STEM
SHRUBS					
7	YELLOW TWIG DOGWOOD	Cornus sericea Flammarion	30" Hgt.	Cont.	
8	MOXY HALO BED TWIG DOGWOOD	Cornus alba Bedalido	24-30" Hgt.	Cont.	
17	SISTER CANDLES SHIMMERBEE	Cornus florida Sister Candies	18" Hgt.	Cont.	
1	ONCLEA HYDANGA	Hydrangea quercifolia	24-30" Hgt.	Cont.	(1) MALE PER (10) FEMALE PLANTS
112	INKBERRY HOLLY	Ilex glabra	18-24" Hgt.	Cont.	
14	SEA GREEN JUNIPER	Juniperus chinensis Sea Green	24" Hgt.	Cont.	
42	ABBOTSWOOD POTENTILLA	Potentilla fruticosa Abbotswood	18" Hgt.	Cont.	
74	EVERLOW YEW	Taxus x media Everlow	18" Hgt.	Cont.	
39	DRUSE YEW	Taxus x media Druseformis	24" Hgt.	B&B	
39	HIGGS YEW	Taxus x media Higgs	34" Hgt.	B&B	
2	PIRKAMADA JAPANESE YEW	Taxus cuspidata Pirkamada	5' Hgt.	B&B	
7	JUDO VIBURNUM	Viburnum x Juddii	30"-36" Hgt.	Cont.	
2	KOREAN SPIGE VIBURNUM	Viburnum coccineum	30"-36" Hgt.	Cont.	
PERENNIALS / ORNAMENTAL GRASSES / GROUNDCOVERS					
156	KAL FORTSTER FEATHER REED GRASS	Calamagrostis x oculicola Kal Fortster	2' Gal.	Cont.	
750	CREeping LILTYURE	Lilium muscari	1 Hgt.	Cont.	12' O.C.
415	VAREGATED LILTYURE	Lilium muscari Variegatum	1 Hgt.	Cont.	12' O.C.
38	WALKER'S LOW CALAMINT	Nepeta x lossatii Walker's Low	1 Gal.	Cont.	
4	DWARF FOUNTAIN GRASS	Pennisetum depauperoides Homein	1 Gal.	Cont.	
34	LITTLE BUNNY FOUNTAIN GRASS	Pennisetum depauperoides Little Bunny	1 Gal.	Cont.	
20	BECKY SHASTA DASY	Lonicera maunum x superbum Becky	1 Gal.	Cont.	
30	BLACK FERNS SISKAN	Rudbeckia hirta	1 Gal.	Cont.	
97	HAPPY RETURNS DAIVILY	Hemerocallis Happy Returns	1 Gal.	Cont.	
27	MOONBEAM COREOPSIS	Coneopsis verticillata Moonbeam	1 Gal.	Cont.	
8	RUSSIAN SAGE	Perovskia atriplicifolia	1 Gal.	Cont.	

- GENERAL LANDSCAPE NOTES:
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE THE FIELD THE ACTUAL LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLAN OR NOT, THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 21 DAYS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH GRADE, TOPSOIL, QUANTITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LAYOUT OF WORK BEFORE STARTING.
 - CONTRACTOR RESPONSIBLE FOR COST OF REPAIR TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MATERIALS TO BE CONTAINED WITHIN 9' DEEP HARDWOOD BARK MULCH BED.
 - CONTRACTOR SHALL MAINTAIN FORMER BRACKAGE IN LAWN AREAS.
 - PREPARE LAWN AREAS TO RECEIVE A SMOOTH AND CONTINUAL GRADE FREE OF TREE LIMBS OR DEPRESSIONS.
 - CONTRACTOR SHALL SEED OR SOIL ALL AREAS DISTURBED DURING THE CONSTRUCTION. TOPSOIL TO BE FLUSH WITH ADJACENT SOIL. ALL EXISTING AREAS ON NORTH AND EAST SIDE OF DRIVE & FIRE LANE TO BE SEED.
 - ALL PLANTS SHALL BEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR WISCONSIN STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

- CONSTRUCTION NOTES:
- LAWN AREA, SCARRY SUBGRADE AND REMOVE STONE. ADD TOPSOIL AT 6" (MIN) DEPTH. TOPSOIL TO BE FLUSH WITH ADJACENT FINISH SURFACE. SEED OR SOIL AS INDICATED.
 - LANDSCAPE AREAS TO BE REPAIRED AND TOPSOIL STONE TO 18" DEPTH. PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH AT 3" MIN DEPTH.
 - DECORATIVE FENCE - SEE SHEETS 12.01 TO 12.03



Scale: 1" = 10'

0' 5' 10' 20'

North

EDGE PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

200 W. SPRINGFIELD STREET, SUITE 350
COLUMBUS, OHIO 43215
614.486.3343
www.edgepa.com

m+a architects

2019.393

M+A

01 JUNE 2021

PLANTING DETAILS

L1.02

PERMIT BID SET

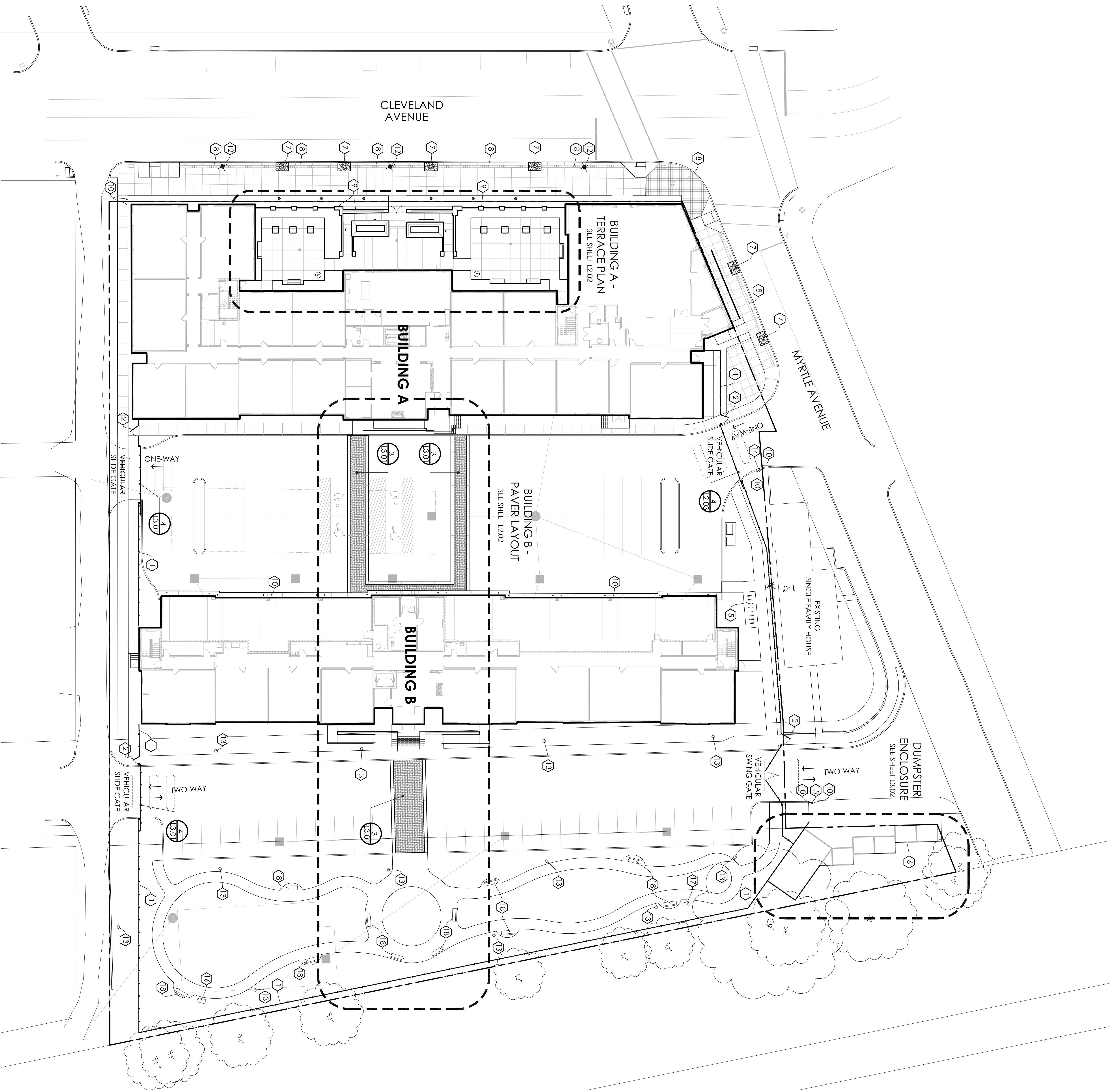
HOMEPORT - MULBY PLACE - BUILDING 'A'

2432 CLEVELAND AVENUE | COLUMBUS, OHIO 43211 |

775 Vand Street, Suite 275
Columbus, Ohio 43212
614.724.0477
614.724.0237
www.m-a-architects.com

m+a

MULTI-FAMILY



- GENERAL NOTES:**
1. ALL DIMENSIONS USING CURB BUILDING WALL OR PARALLEL AS A REFERENCE ARE FROM FACE OF CURB. FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 2. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 3. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
 4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY: SANDS DECKER.
 6. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING.

CONSTRUCTION NOTES:

1. DECORATIVE FENCE, 4' HGT. - SEE DETAIL #1/12.03
2. FERRISSMAN GATE, 4' HGT. - SEE DETAIL #2/12.03
3. GATE TO HAVE MAG LOCK AND CARD READER. - SEE DETAIL #3/12.03
4. BRICK PAVERS WITH CONCRETE BAND AT BORDER. - SEE DETAIL #3/12.03
5. VEHICULAR SLIDE GATE - SEE DETAIL #4/12.03
6. BRK BACK, TYP. OF (8) - SEE DETAIL #5/12.03
7. DUMPSTER ENCLOSURE - SEE DETAILS #1-3/13.02
8. COCC STANDARD FREE GATE, (4x6) GATE BY NENYAH FOUNDARY
9. COCC STANDARD 12"x12" PAVEMENT
10. RETAINING WALL, APPROX. 18" HGT. - SEE ARCH. DWGS.
11. DECORATIVE ROLLARD, TYP. OF 23 - SEE DETAIL #4/13.02
12. HC RAMP WITH ALUMINUM RAILINGS
13. EXISTING DECORATIVE LIGHT POLE TO BE REBUILT - SEE ELEC. DWGS.
14. NEW LIGHT POLE - SEE ELEC. DWGS.
15. STANDARD VEHICLE HEIGHT PROXIMITY READER
16. MULTI-LEVEL PROXIMITY READER
17. EXERCISE STATION - PROVIDE RA BENCH, MODEL: 200203239 BY LITTLE TIGERS COMMERCIAL.
18. EXERCISE STATION - PROVIDE 23 STEP MODEL: 200203231 BY LITTLE TIGERS COMMERCIAL.
19. 6" BENCH WITH END ARMRESTS, TYP. OF 116
20. MODEL: NEDUWANO BY LANDSCAPE FORMS, INC. BENCH TO BE ANCHORED ONTO CONCRETE PAD AS INDICATED ON DRAWING MANUFACTURER'S INSTRUCTIONS.

NOTE:
 1. APPROVE TO SUBMIT SHOP DRAWINGS FOR ALL FENCE & GATES, AND SITE FURNITURE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

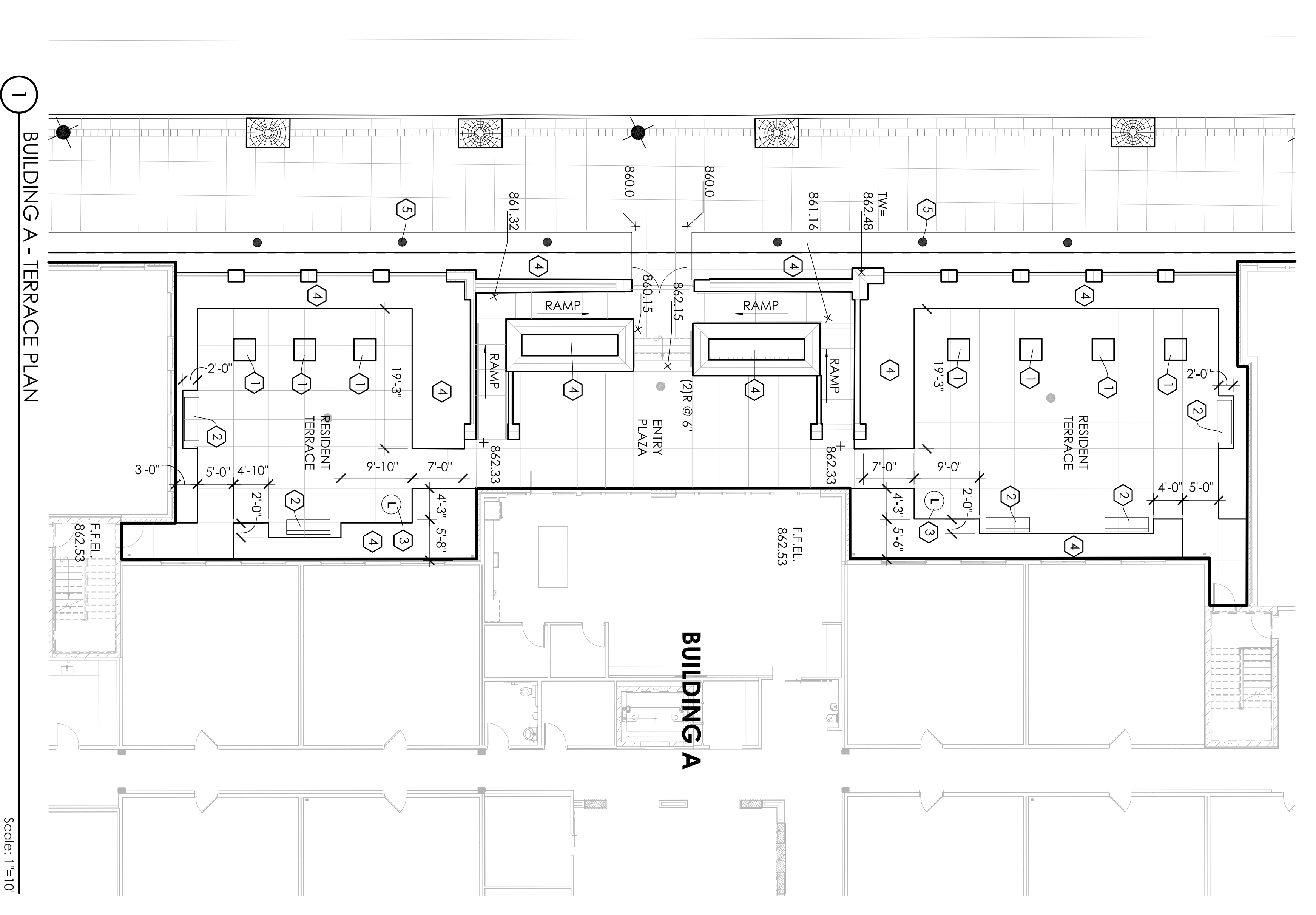
AUTOMATED VEHICULAR GATE NOTES:

1. AUTOMATED VEHICULAR GATE SYSTEM SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
2. AUTOMATED VEHICULAR GATES TO INCLUDE THE FOLLOWING:
 - a. GATE OPERATORS WITH BATTERY BACKUP
 - b. VEHICLE DETECTORS & LOOP DETECTORS
 - c. FREE REPAIRMENT SYSTEM ACCESS CONTROLS
 - d. TELEPHONE ENTRY SYSTEM ACCESS CONTROLS
3. SIDE GATES TO BE CONTINUOUS, NOT ROLLING GATES.
4. PROXIMITY CARD READERS TO BE LONG RANGE READERS. SYSTEMS TO BE PROGRAMMABLE TO ALLOW CARDS TO OPEN THE SAME GATES. AND FERRISSMAN GATES TO OPEN THE SAME GATES.
5. SYSTEM TO ALLOW BOTH RESIDENTS WITH CARDS/TAGS AND VISITORS: MIN QUANTITY - PROVIDE (2) CARDS/TAGS PER SYSTEM MANUFACTURER. DOORING, INC. OR APPROVED EQUAL.

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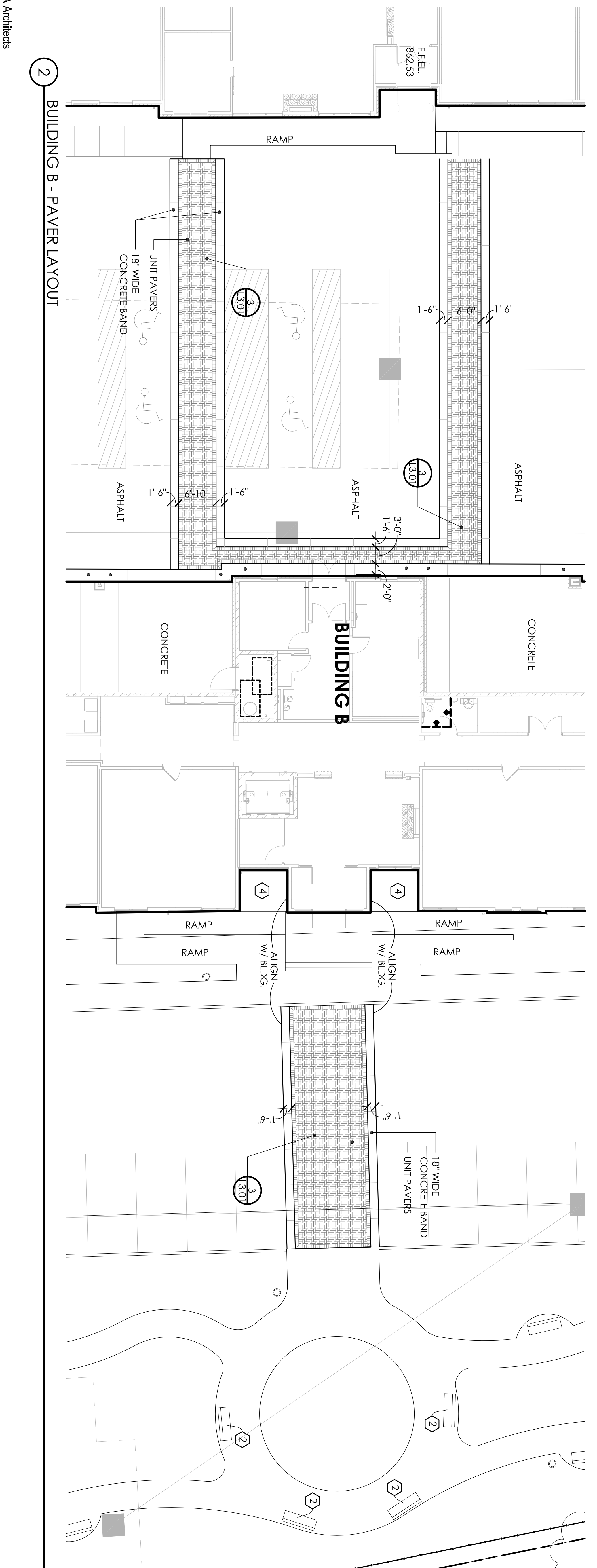
6.18.21

EDGE PLANNING & LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 220 W. SPRINGS STREET, SUITE 350
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 614.486.3343
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- GENERAL NOTES:**
1. ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 2. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 3. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
 4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY: SANDS DECKER.
 6. EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING.
- CONSTRUCTION NOTES:**
1. PLANTER, TYP. OF 7
MODEL: PLAZA PLANTER BY: LANDSCAPE FORMS, INC.
SIZE: 36" X 36" X 32"
WOOD FINISH: DSI/MA
 2. 6" BRICK WITH END ANKERS, TYP. OF 16
MODEL: CHASE PARK BR BY: LANDSCAPE FORMS, INC.
BRICK TO BE ANCHORED ONTO CONCRETE FOUNDATION PER MANUFACTURER'S INSTRUCTIONS.
UTLTY RECEIPT: SIDE OPENING, TYP. OF 3
MODEL: CHASE PARK BR BY: LANDSCAPE FORMS, INC.
FINISH: POWDERCOAT SILVER
 3. LANDSCAPE AREA -- SEE PLANNING PLAN SHEET U.10
 4. LIGHTED BOLLARD, TYP. OF 6 - SEE ELEC. DWGS.
- NOTE:**
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FENCE & GATES. SITE FURNITURE, AND GATEBO SHOP DRAWINGS TO BE REVIEWED AND APPROVAL REVIEWED AND STAMPED BY A LICENSED STRUCTURAL ENGINEER.

Final Received
6/18/21
Z20-055; Page 6
of 8



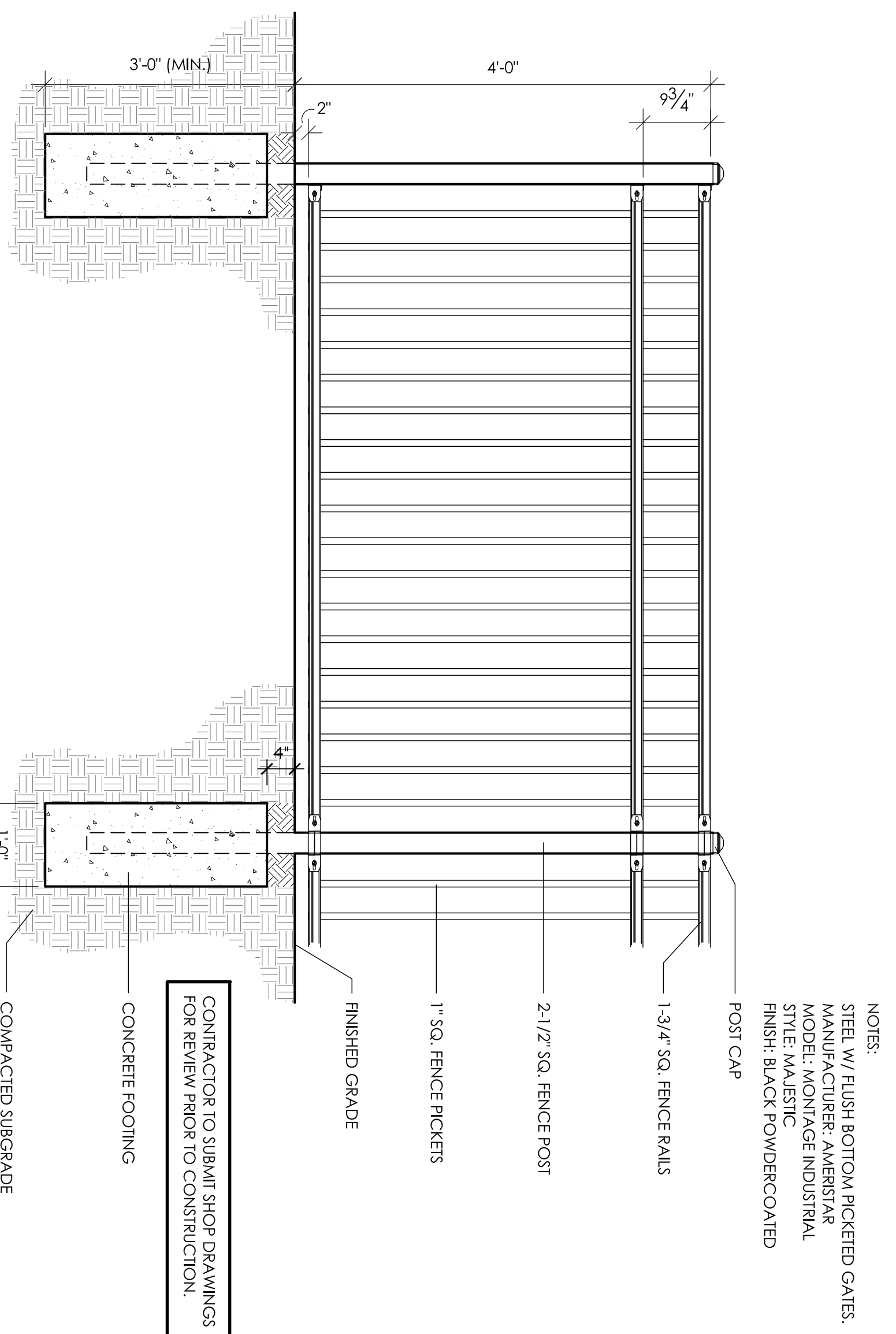
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0' 5' 10' 20'

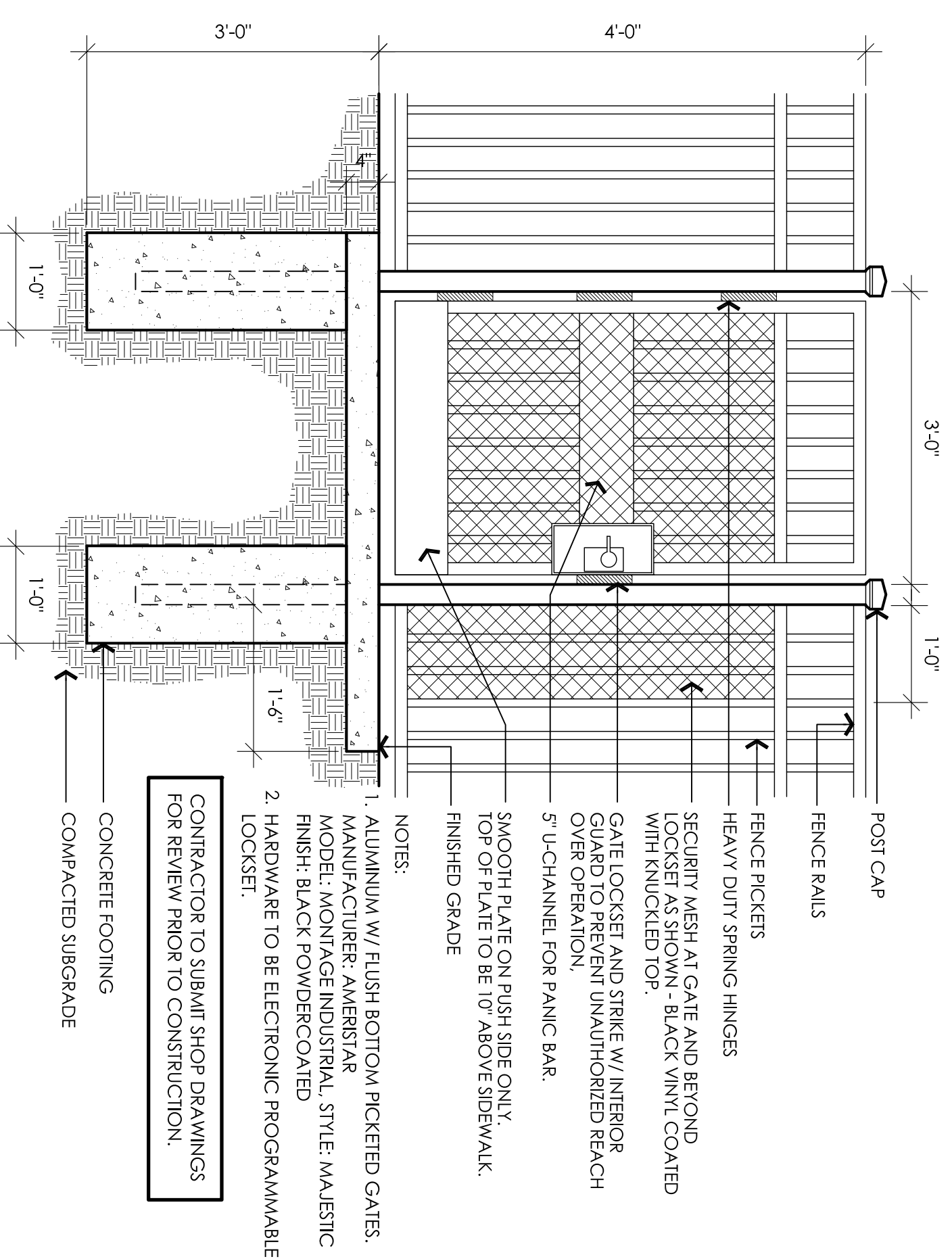
NORTH

EDGE
PLANNING ARCHITECTURE
LANDSCAPE ARCHITECTURE
URBAN DESIGN

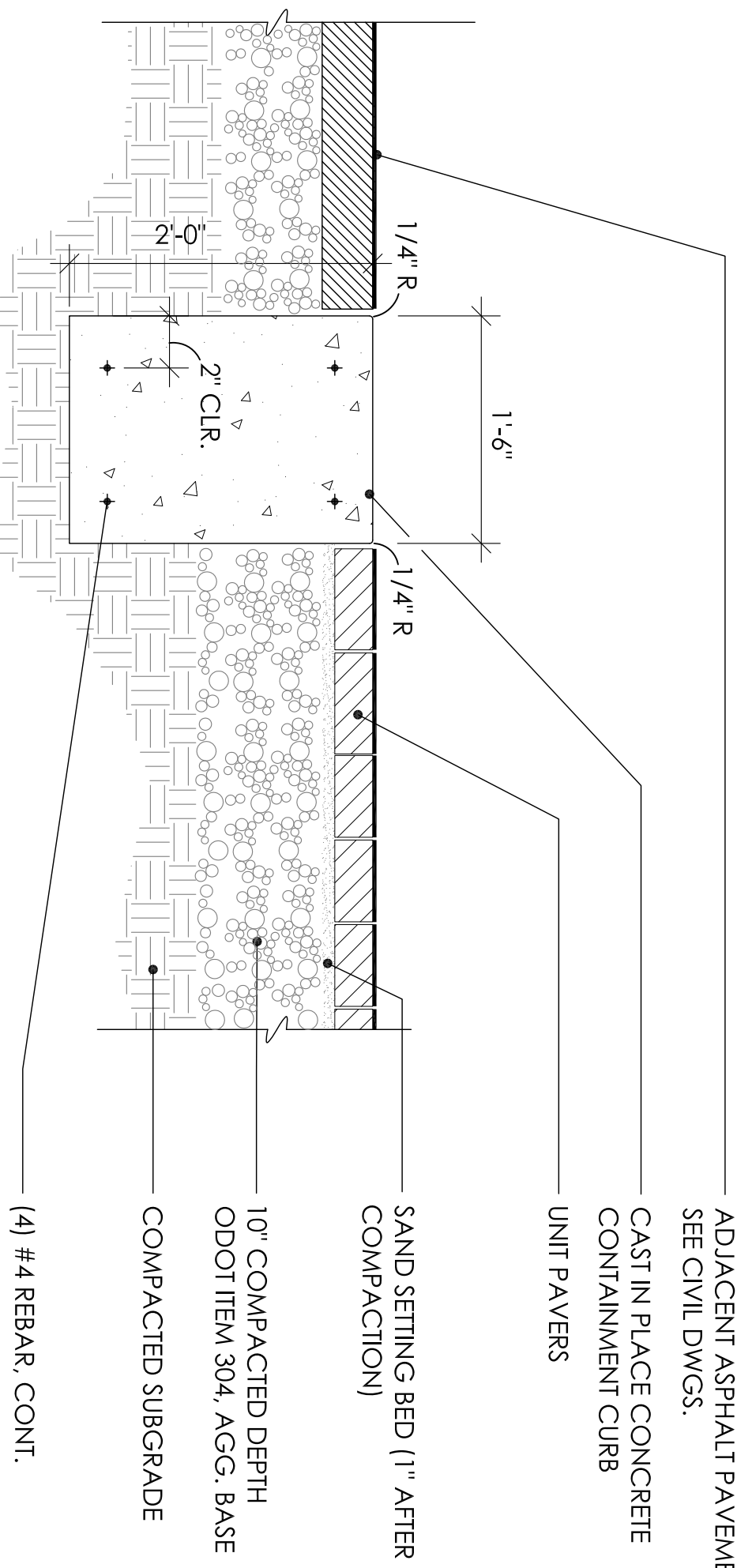
230 W. SPRINGS STREET, SUITE 350
COLUMBUS, OHIO 43221
614.486.3343
www.m-a-architects.com



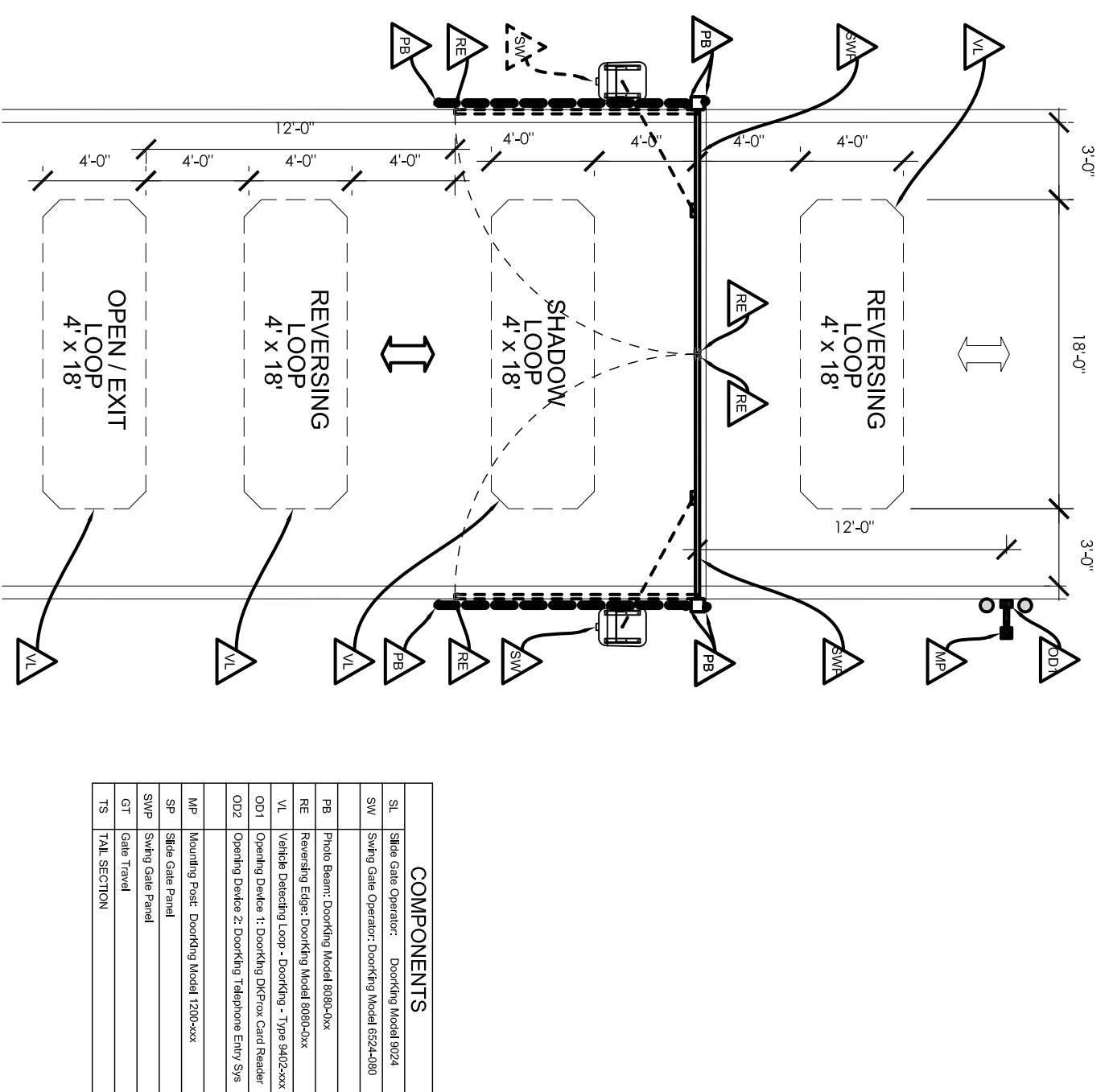
1 DECORATIVE FENCE
NTS



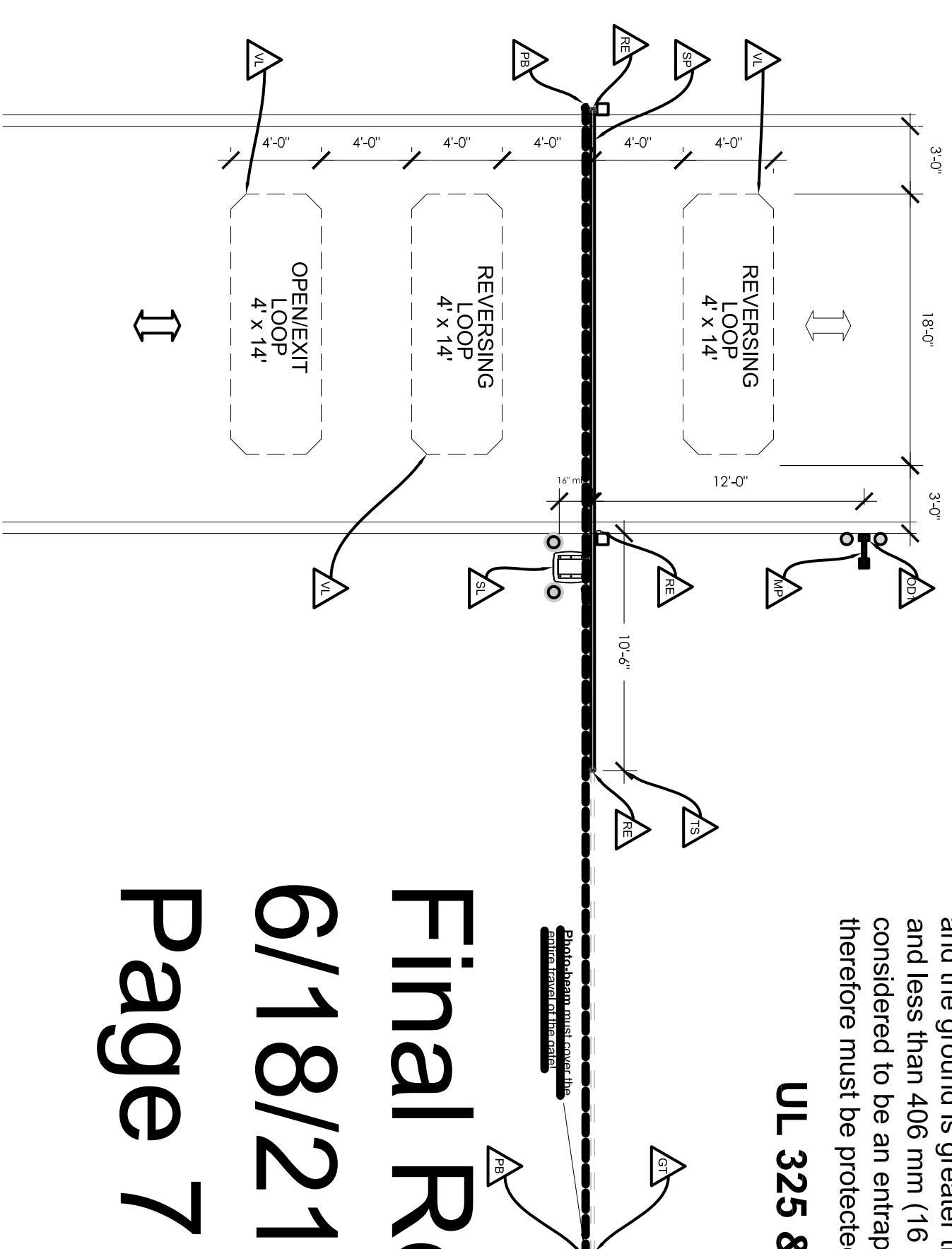
2 PEDESTRIAN GATE
NTS



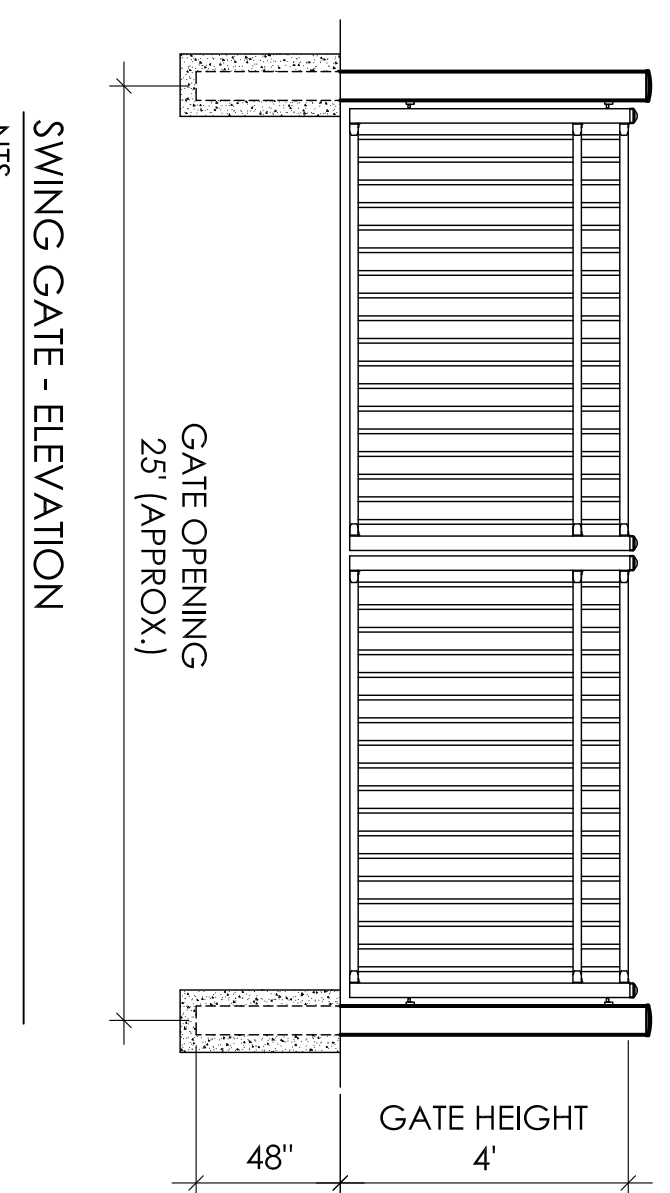
3 BRICK PAVERS - w/CONCRETE BAND
SCALE: 1"=1'-0"



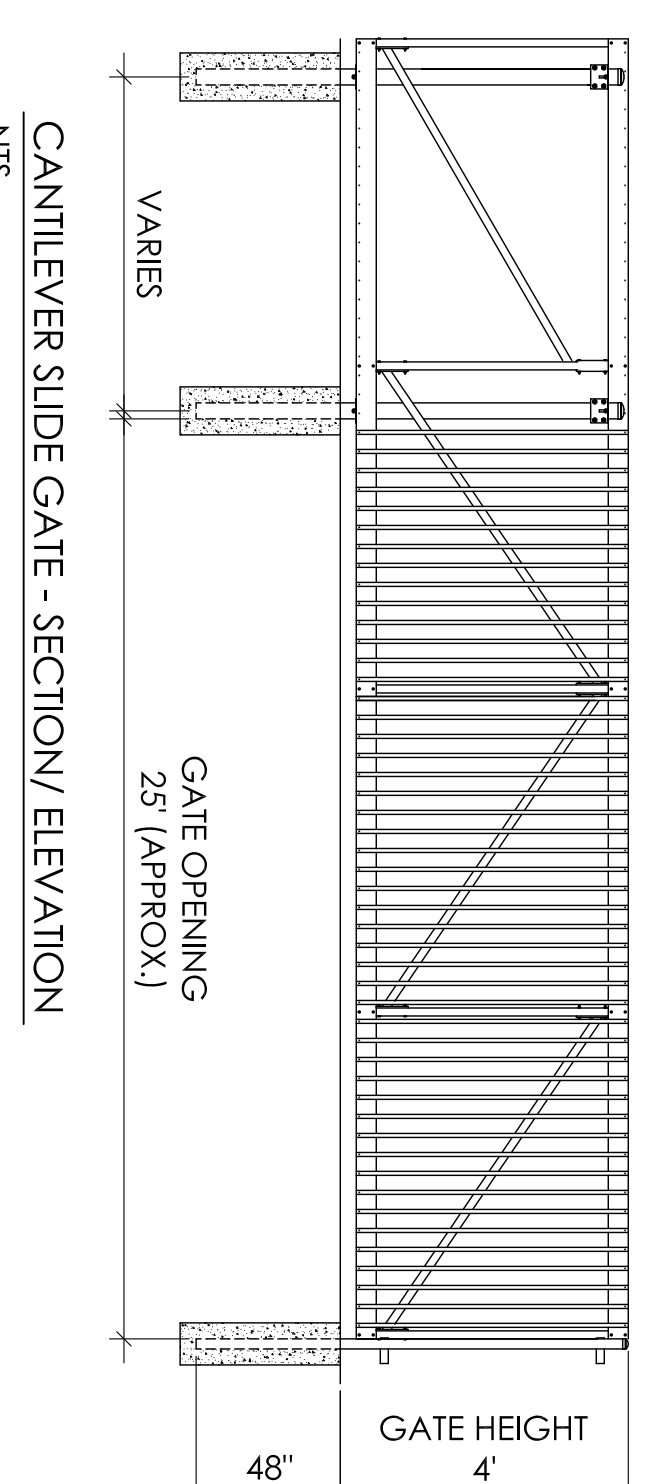
SWING GATE - PLAN
NTS



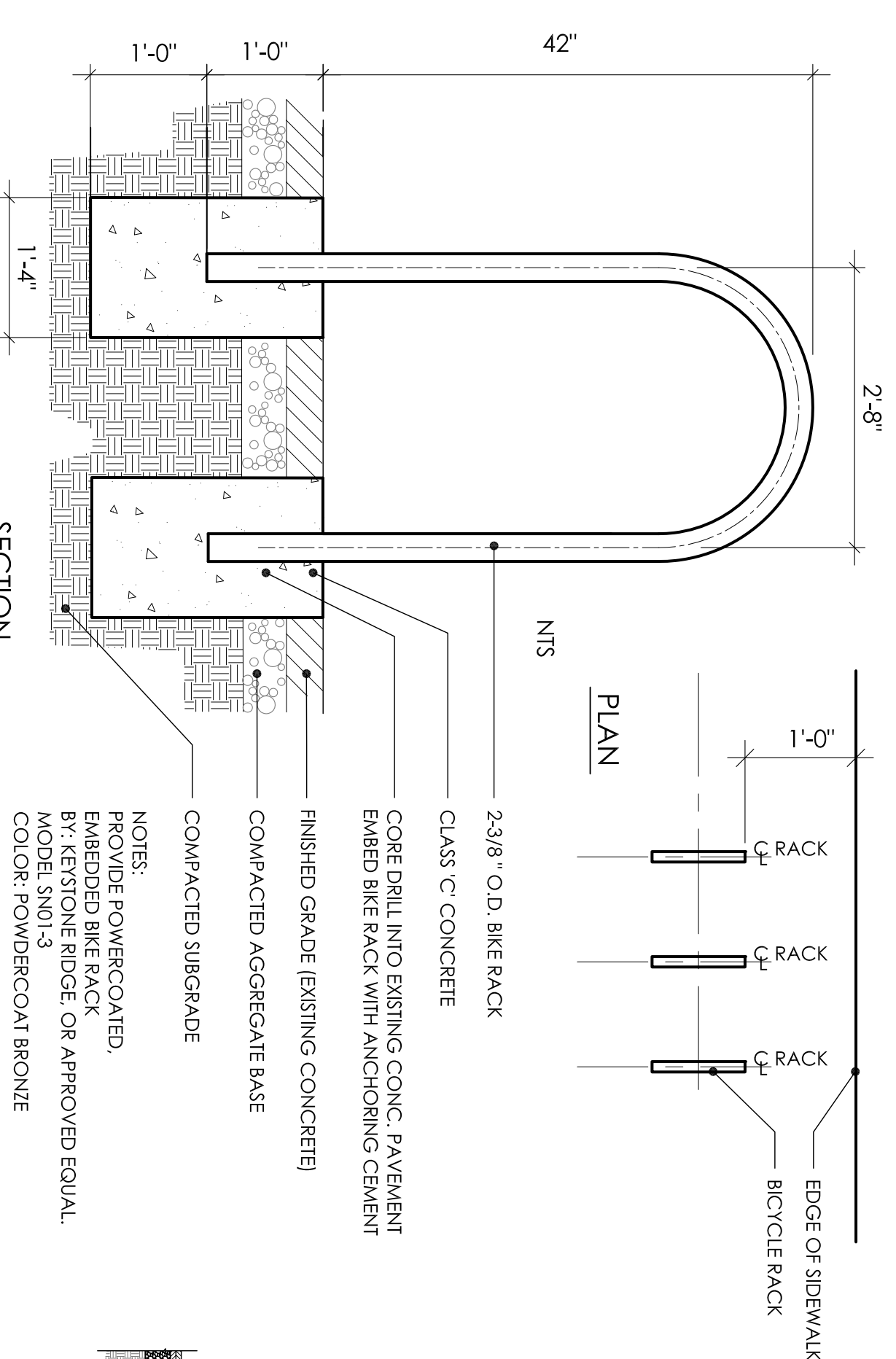
CANTILEVER SLIDE GATE - PLAN
NTS



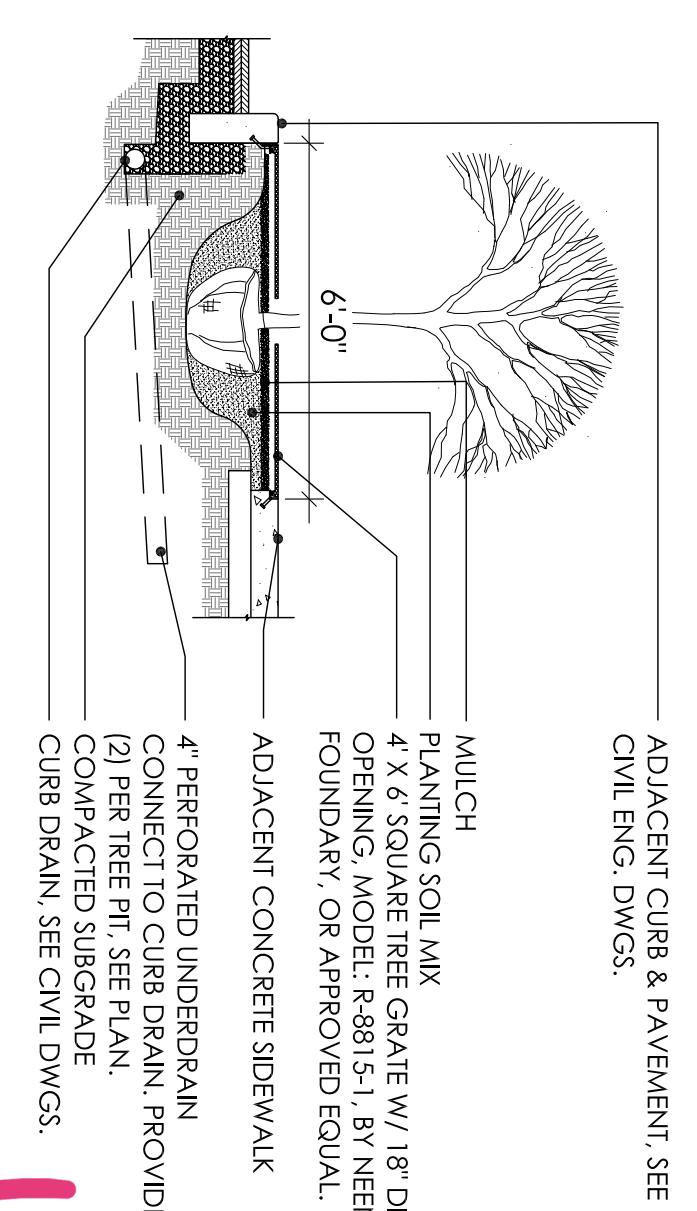
4 VEHICULAR GATES
NTS



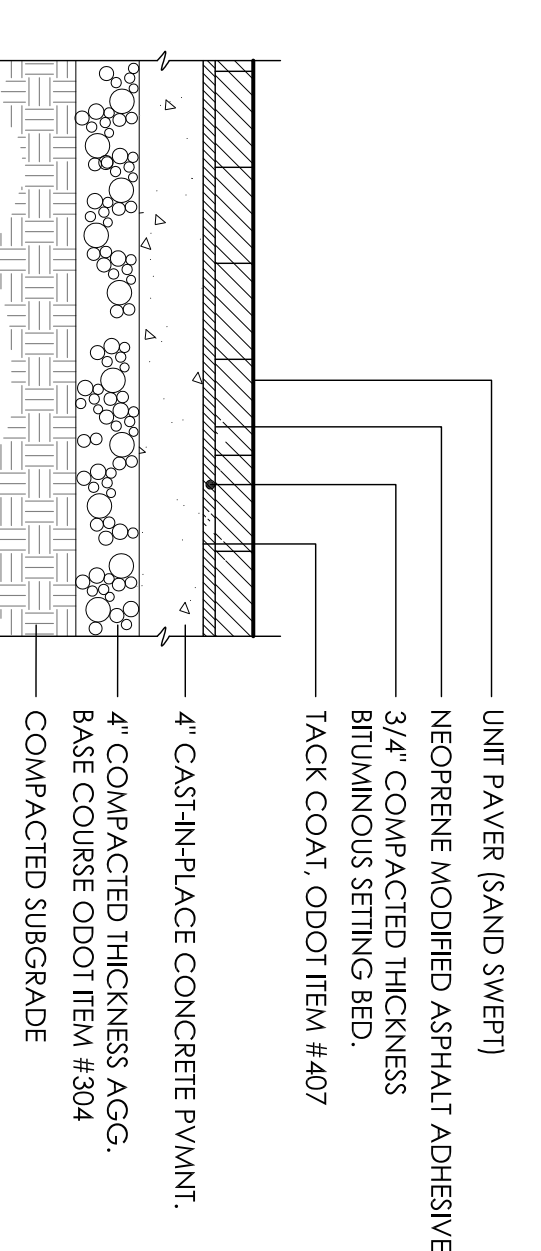
CANTILEVER SLIDE GATE - SECTION/ELEVATION
NTS



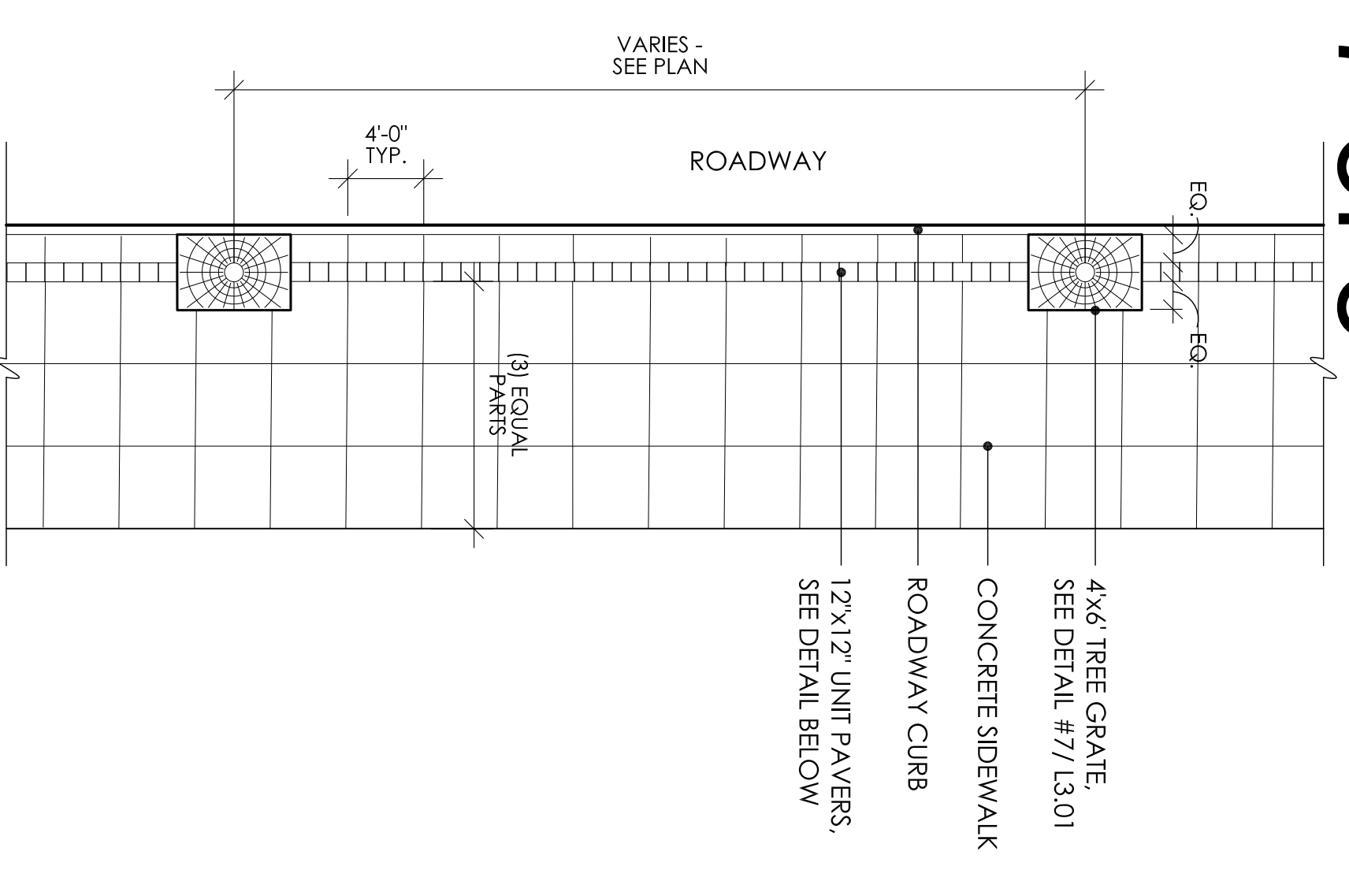
5 BIKE RACK
SCALE: 1"=1'-0"



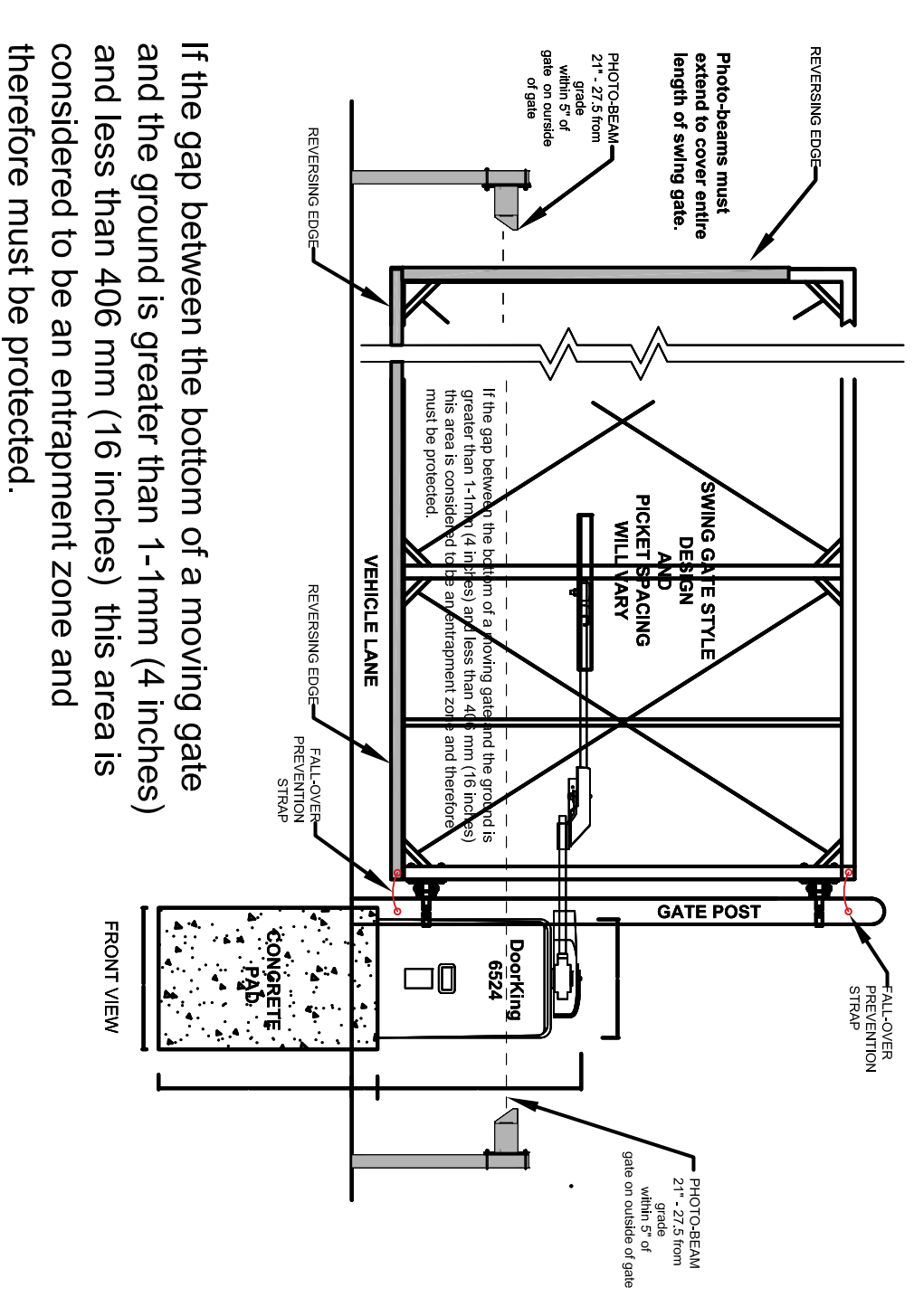
7 TREE GATE
NTS



8 12" x 24" UNIT PAVER (WITHIN R.O.W. ONLY)
NTS



6 STREETScape ENLARGEMENT
SCALE: 1/8" = 1'-0"

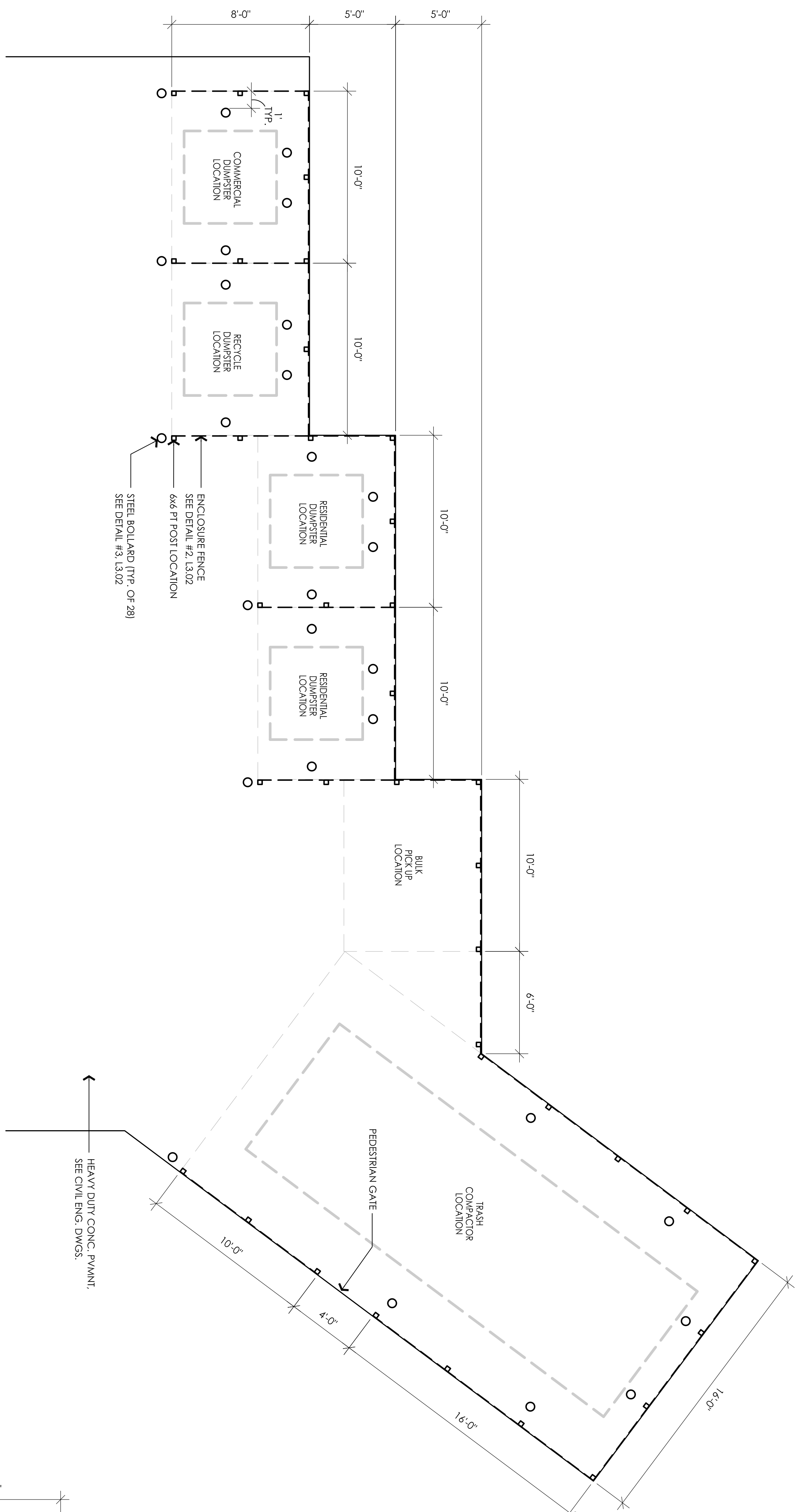


UL 325 & ASTM F2200 SAFETY

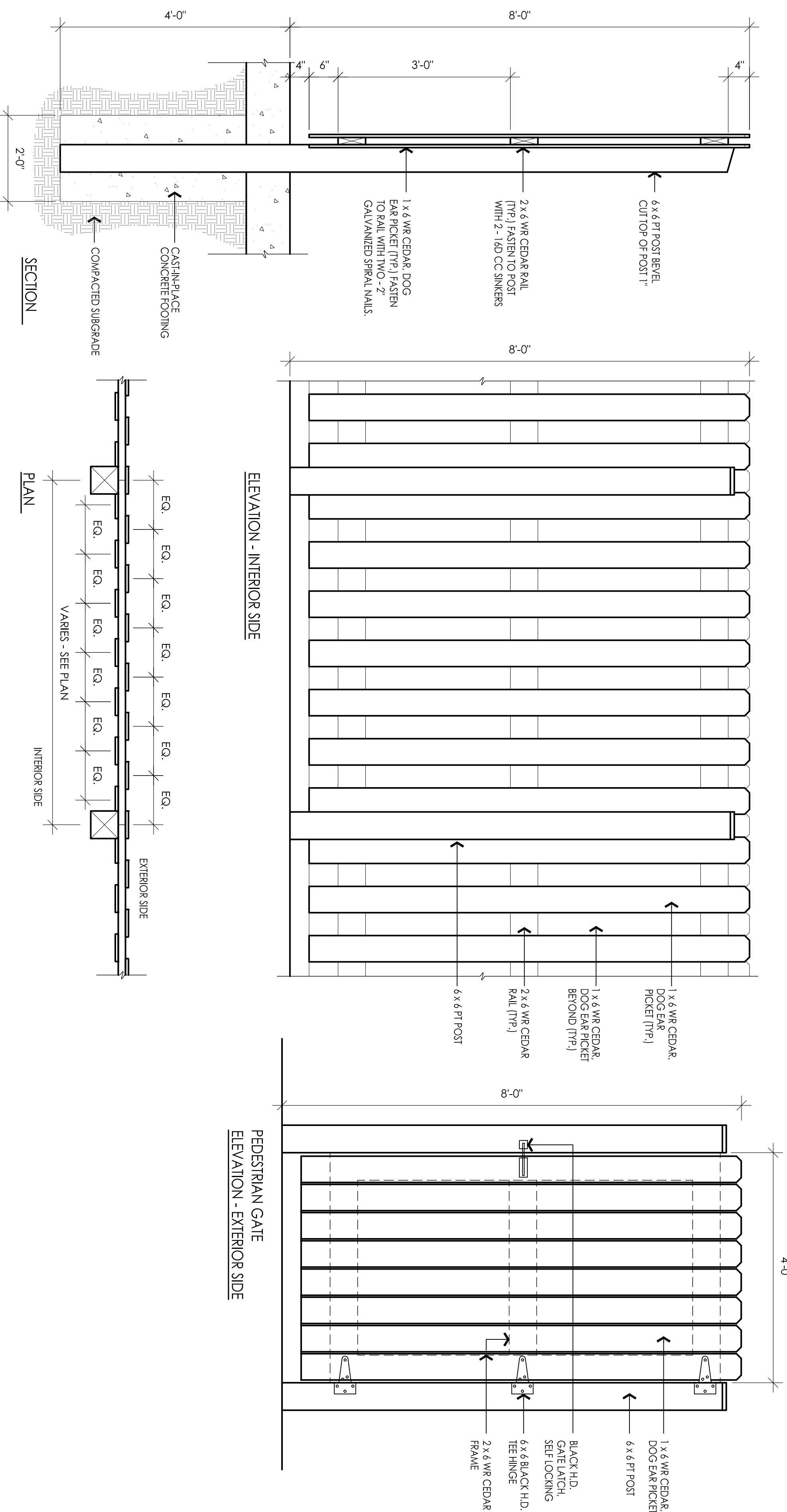
Final Received
6/18/21; Z20-055;
Page 7 of 8

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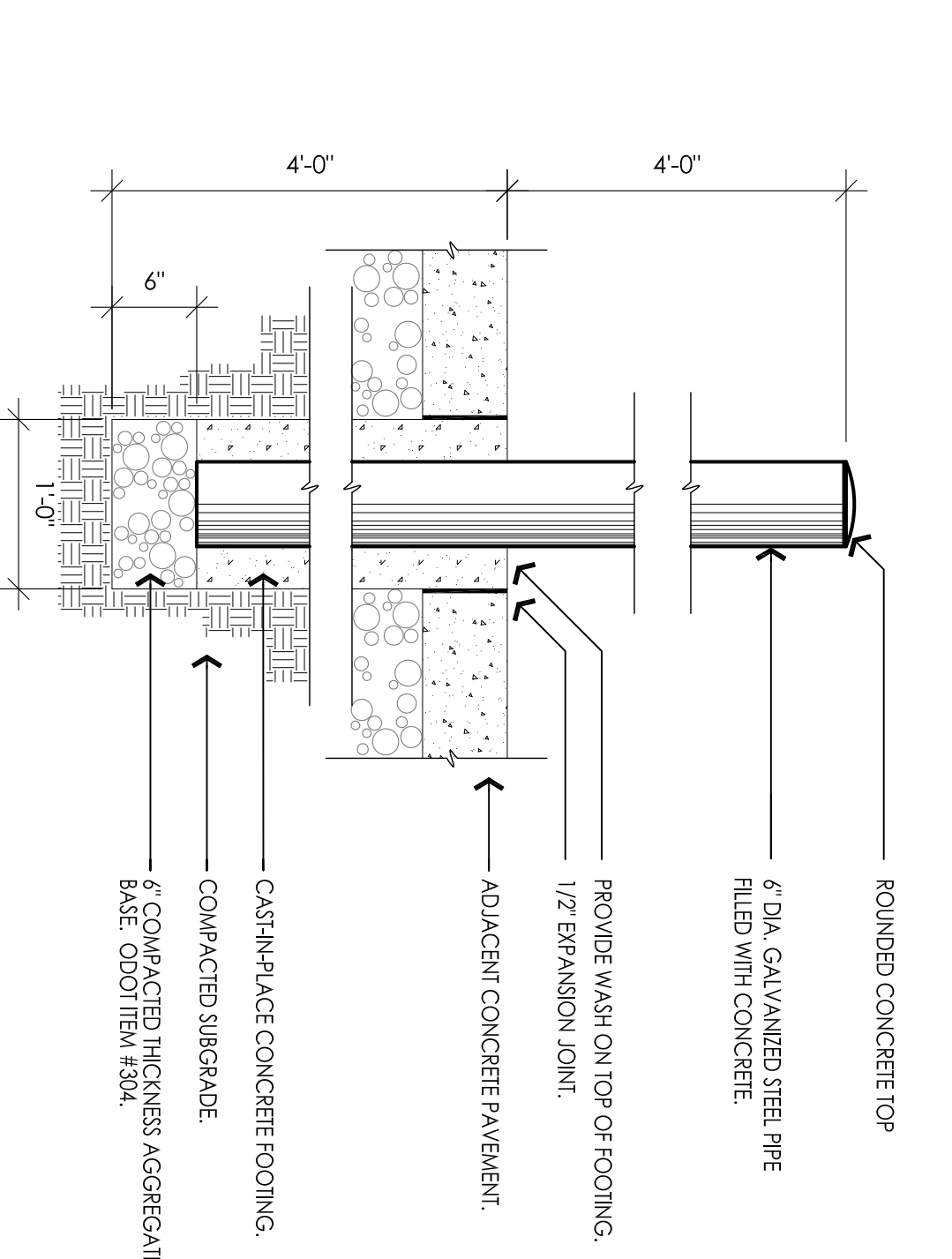
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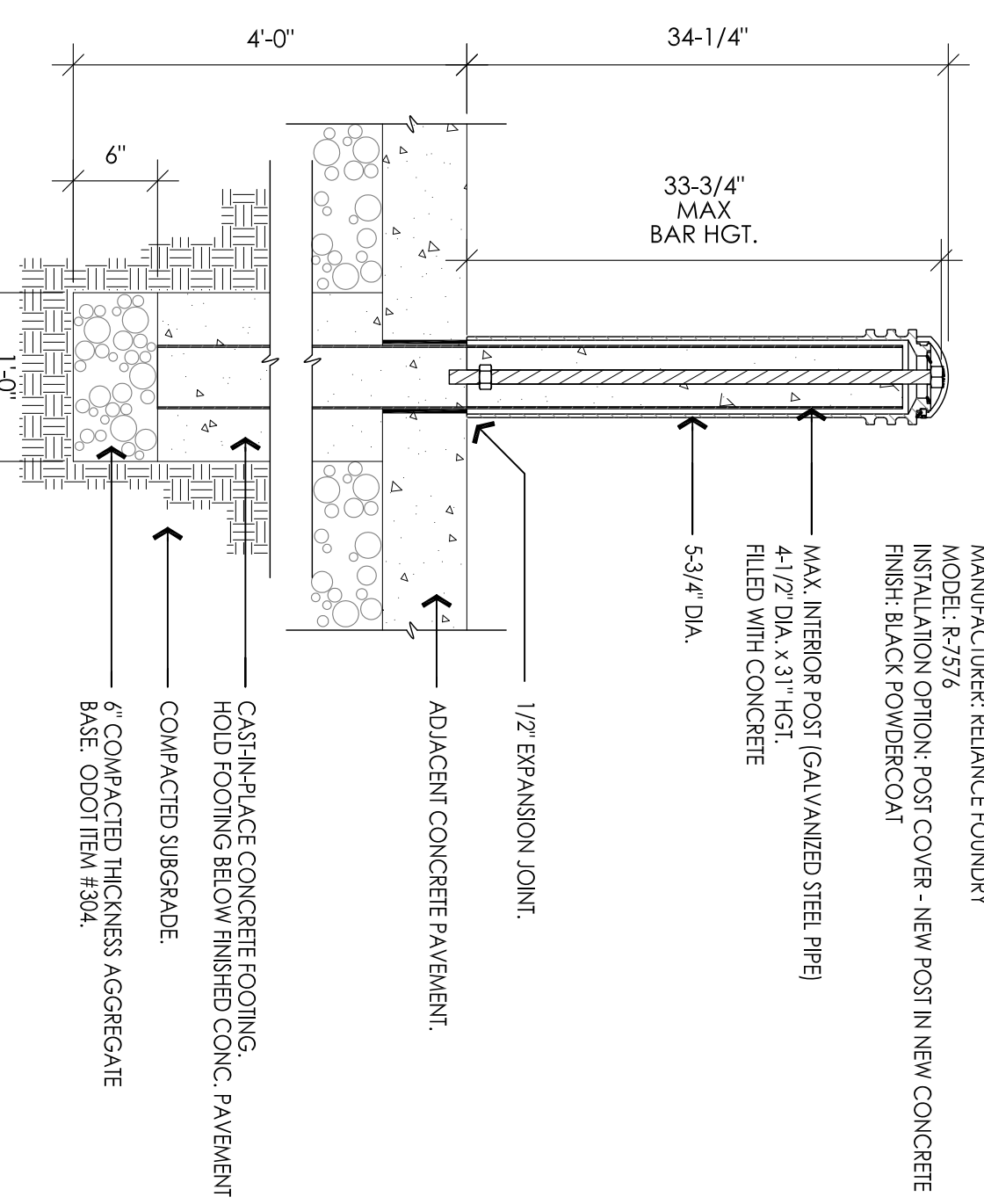
1 DUMPSTER ENCLOSURE LAYOUT



2 ENCLOSURE FENCE - 8' HGT.



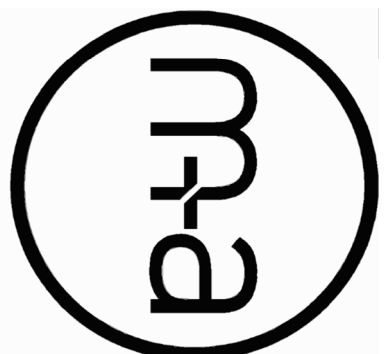
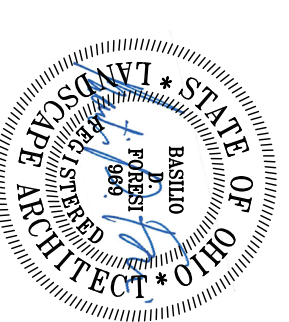
3 STEEL BOLLARD



4 DECORATIVE BOLLARD

6/18/21

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**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
JULY 8, 2021**

- 6. APPLICATION: Z20-055**
- Location:** **2432 CLEVELAND AVE. (43211)**, being 2.28± acres (plus 0.72 acres pending right-of-way vacation) located at the southeast corner of Cleveland Avenue and Myrtle Avenue (010-061073 & 15 others; North Linden Area Commission).
- Existing Zoning:** R-4, Residential, and C-1 and C-4, Commercial Districts.
- Request:** CPD, Commercial Planned Development District (H-35).
- Proposed Use.** Mixed-use development.
- Applicant(s):** Homeport; c/o Laura MacGregor Comek, Atty.; 17 South High Street, Suite 700; Columbus, OH 43215.
- Property Owner(s):** Columbus Holding Co. LLC; 1393 Broad Street, Third Floor; Columbus, OH 43215.
- Planner:** Hayley Feightner; 614-645-3526; hefeightner@columbus.gov

BACKGROUND:

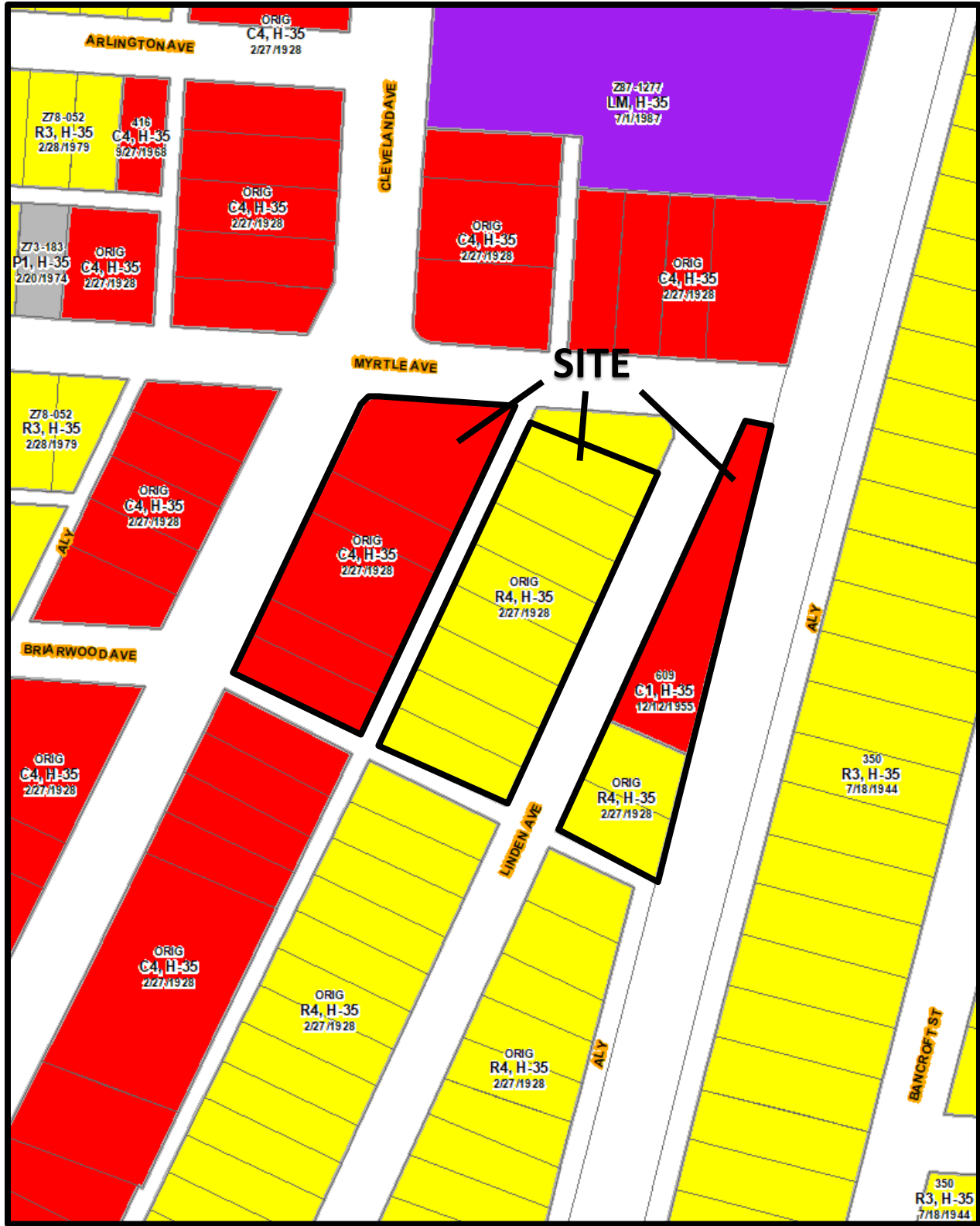
- The site consists of sixteen parcels developed with a religious facility, several dwellings, and an apartment building zoned in the R-4, Residential, and C-1 and C-4, Commercial districts, and partially located within the Cleveland Avenue/North Linden Urban Commercial Overlay (UCO). The applicant requests the CPD, Commercial Planned Development District to permit a mixed-use development consisting of 100 senior housing units and commercial space along the Cleveland Avenue frontage. The rezoning has been filed as a condition of Ordinance #1653-2020, CV20-049, which was approved by City Council on July 20, 2020.
- To the north is a single-unit dwelling in the R-4, Residential District, and across Myrtle Avenue are commercial buildings and a religious facility in the C-4, Commercial District. To the south is a commercial building in the C-4, Commercial District, and single-unit dwellings in the R-4, Residential District. To the east across abandoned railroad right-of-way are single-unit dwellings in the R-3, Residential District. To the west across Cleveland Avenue is vacant land and a commercial building in the C-4, Commercial District.
- The site is within the planning area of the *North Linden Neighborhood Plan Amendment* (2014), which recommends “Neighborhood Mixed Use” and “Medium Density Mixed Residential” land uses for this location, and includes early adoption of the *Columbus Citywide Planning Policies* (C2P2) Design Guidelines (2018).
- The site is within the boundaries of the North Linden Area Commission, whose recommendation is for approval.
- The CPD text includes use restrictions and supplemental development standards that address building and parking setbacks, height, maximum number of senior housing

units, maximum square footage of commercial space, access, and landscaping. Additionally, the text includes commitments to develop the site as demonstrated on the submitted site plan and landscaping plan. Variances are included for vision clearance, density for elderly housing, UCO building design standards, and to permit a maximum building height of 45 feet in the H-35 height district.

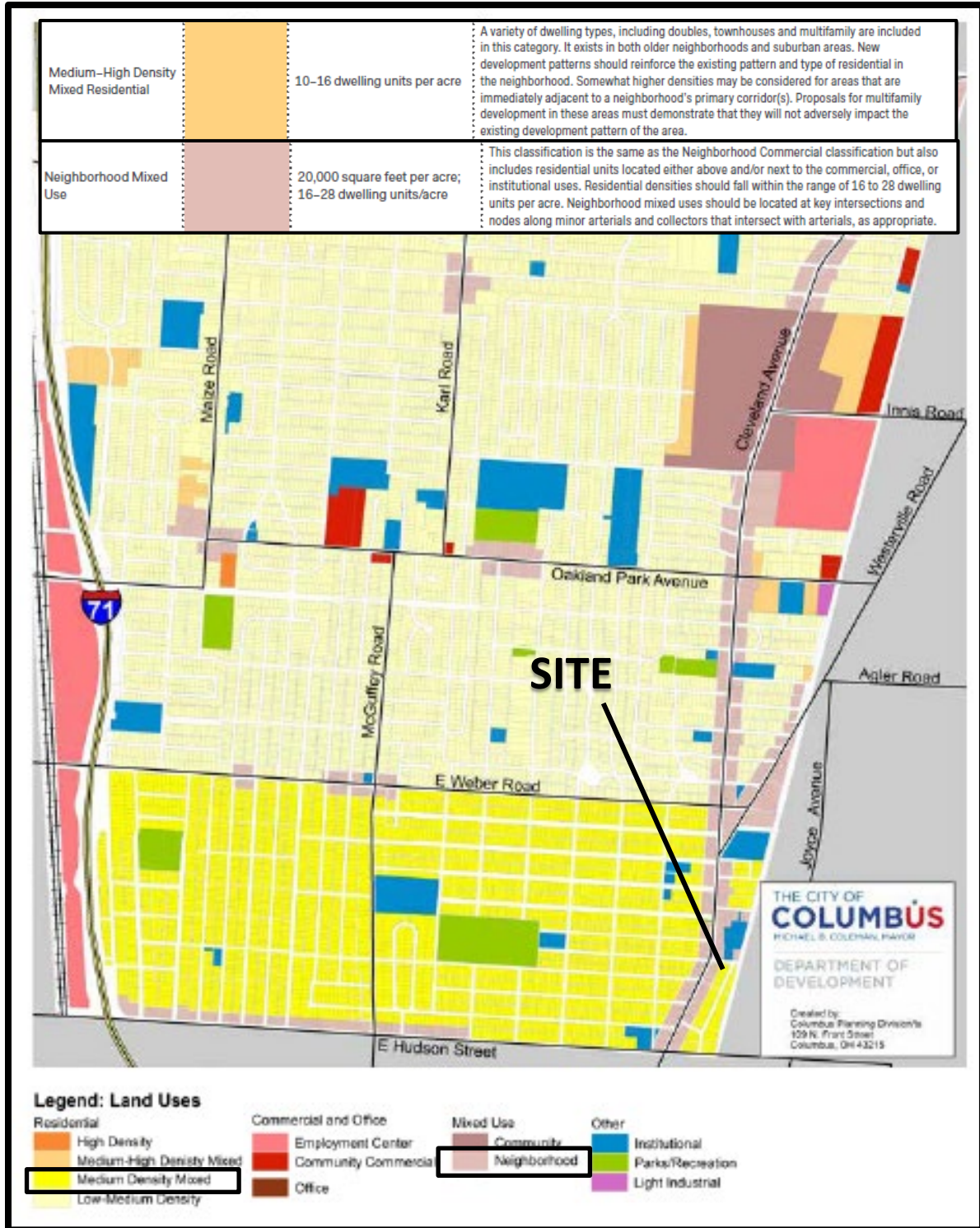
- The *Columbus Multimodal Thoroughfare Plan* identifies this portion of Cleveland Avenue as an Urban Commuter Corridor requiring 100 feet of right-of-way. A right-of-way dedication exception request has been submitted and is currently pending approval with the Division of Traffic Management. A traffic study has been approved in conjunction with the proposed acquisition of Linden Avenue associated with this application.

CITY DEPARTMENTS' RECOMMENDATION: Approval.

The requested CPD, Commercial Planned Development District is considered to be an appropriate district for this mixed-use development, previously permitted by ORD #1653-2020 (CV20-049). Staff supports the proposal, as the request is consistent with the land use recommendation of the Plan and is compatible with the zoning and emerging development patterns of the area. Additionally, the site plan contains adequate landscaping and design elements that address the street and enhance the pedestrian experience, as recommended by the *North Linden Neighborhood Plan Amendment* and C2P2 Design Guidelines.



Z20-055
2432 Cleveland Ave.
Approximately 2.28 acres
C-1, C-4, and R-4 to CPD



Z20-055
 2432 Cleveland Ave.
 Approximately 2.28 acres
 C-1, C-4, and R-4 to CPD



Z20-055
2432 Cleveland Ave.
Approximately 2.28 acres
C-1, C-4, and R-4 to CPD

FOR USE BY: AREA COMMISSION / COMMUNITY GROUP / HISTORIC ARCHITECTURAL REVIEW
(PLEASE PRINT)

Case Number:

Address:

Group Name:

Meeting Date:

Specify Case Type:

- BZA Variance / Special Permit
- Council Variance
- Rezoning
- Graphics Variance / Plan / Special Permit

Recommendation:

(Check only one and list basis
for recommendation below)

- Approval
- Disapproval

NOTES:

Vote:

Signature of Authorized Representative:

Andrea J. Russell

SIGNATURE

RECOMMENDING GROUP TITLE

DAYTIME PHONE NUMBER

Please e-mail this form to the assigned planner within 48 hours of your meeting day; or O CKN to: Assigned Planner, City of
MAIL to: Columbus, Department of Building & Zoning Services, 111 N. Front St, Columbus, OH 43215.

Rezoning Application

111 North Front Street, Columbus, Ohio 43215

Phone: 614-645-4522 • www.columbus.gov • zoninginfo@columbus.gov

PROJECT DISCLOSURE STATEMENT

All parties having a 5% or more interest in the project that is the subject of this application should be listed.
THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION #: Z20-055

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Laura MacGregor Comek, Esq.
of (COMPLETE ADDRESS) 17 S High St., Ste 700, Columbus, Ohio 43215
deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

Name of business or individual (include contact name and number)
Business or individual's address; City, State Zip Code
Number of Columbus based employees
(Limited to 3 lines per box)

1. Columbus Housing Partnership dba Homeport 3443 Agler Rd. Columbus, Ohio 43219 50 eees.	2.
3.	4.

Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT

Subscribed to me in my presence and before me this 21st day of MAY, in the year 2021

SIGNATURE OF NOTARY PUBLIC

My Commission Expires:

G. WILLIAM KLAUSMAN IV
This Project Disclosure Statement expires on 21st MAY 2021 date of notarization.
NOTARY PUBLIC, STATE OF OHIO
My commission has no expiration date
Section 147.03 R.C.

Notary Seal Here



PLEASE NOTE: Incomplete information will result in the rejection of this submittal.
Applications must be submitted by appointment. Call 614-645-4522 to schedule.
Please make all checks payable to the Columbus City Treasurer